

LAGAE RANCH PLANNED DEVELOPMENT, 2ND MINOR AMENDMENT

A MAJOR AMENDMENT TO PA6 TO ALLOW THE LAND USES OF SINGLE FAMILY RESIDENTIAL ATTACHED AND DETACHED
 A PARCEL OF LAND LYING IN THE SOUTH HALF OF SECTION 3, THE EAST HALF OF SECTION 9 AND IN THE NORTH HALF OF SECTION 10 OF TOWNSHIP 7 SOUTH, RANGE
 67 WEST OF THE 6TH PRINCIPLE MERIDIAN, CITY OF CASTLE PINES, COLORADO

PA 6 CASE NO. ZR___-___
 28.08 Acres 145 SF Residential Units or 400 MF Residential Units

SINGLE FAMILY RESIDENTIAL AND MULTIFAMILY DESIGN STANDARDS

DESIGN STANDARDS FOR SINGLE-FAMILY RESIDENTIAL DEVELOPMENT:

ARCHITECTURAL DESIGN CONCEPT

- A1. THE OVERALL CHARACTER OF THE DEVELOPMENT SHOULD BE DEFINED THROUGH THE USE OF A VARIETY OF COHESIVE ARCHITECTURAL STYLES.
- A2. ARCHITECTURAL DESIGN CONCEPTS OF NEIGHBORING PROJECTS SHALL BE INCORPORATED.
- A3. ARCHITECTURAL DESIGN OF SINGLE-FAMILY HOMES WITHIN A DEVELOPMENT SHOULD CREATE VISUAL VARIETY AND AT THE SAME TIME PROMOTE AN INTEGRATED CHARACTER FOR THE NEIGHBORHOOD.
- A4. ARCHITECTURAL TREATMENTS ON ALL SIDES OF RESIDENTIAL STRUCTURES SHOULD BE OF HIGHER QUALITY SIMILAR TO THE ARCHITECTURAL TREATMENT ON THE FRONT FAÇADE AND ON HIGH VISIBILITY LOTS THAT HAVE FAÇADES THAT FACE ONTO OPEN SPACE OR HIGH VISIBILITY PUBLIC STREETS.
- A5. GARAGES FOR THE ATTACHED SINGLE FAMILY HOMES SHALL BE ACCESSED FROM REAR ALLEYS.
- A6. NO PLAN/MODEL NUMBER SHALL BE REPEATED ON ADJACENT LOTS (SAME SIDE OF STREET), OR ACROSS THE STREET (REGARDLESS OF PLATTED LOT LINE OVERLAP). SIMILAR ELEVATION DESIGNATIONS MAY BE REPEATED.

B. FORM AND MASSING

- B1. VARIATION OF WALL PLANES, ROOFLINES, AND BUILDING FORM SHOULD BE PROVIDED TO CREATE VISUALLY ENGAGING DESIGNS. ARCHITECTURAL ELEMENTS SUCH AS VARIED ROOF FORMS, ARTICULATION OF THE FAÇADE, BREAKS IN THE ROOF, WALLS, WITH TEXTURED MATERIALS SHALL BE INCORPORATED TO ADD VISUAL INTEREST.
- B2. MIX CONTRASTING VERTICAL AND HORIZONTAL ELEMENTS SUCH AS ROOF OVERHANGS AND CHIMNEYS.
- B3. MANIPULATE MASS AND BUILDING HEIGHT TO ENSURE THAT THE SCALE OF THE BUILDING IS APPROPRIATE TO THE LOT SIZE.
- B4. PEDESTRIAN SCALED ENTRIES SHOULD BE A PROMINENT FEATURE OF THE FRONT ELEVATION.
- B5. GARAGE PLACEMENT AND SETBACK MAY BE VARIED TO BREAK THE VISUAL MASS OF BUILDINGS AND IMPROVE STREETSCAPE APPEARANCE. DE-EMPHASIZING THE GARAGE IS ENCOURAGED.

C. EXTERIOR BUILDING MATERIALS AND COLOR

- C1. BUILDINGS SHOULD BE DESIGNED AND CONSTRUCTED AS ENERGY-EFFICIENT AS PRACTICAL, WITH REDUCED OVERALL ENERGY DEMANDS THROUGH THE USE OF ENERGY-EFFICIENT BUILDING MATERIALS, LIGHTING, HEATING, AND COOLING SYSTEMS.
- C2. EXTERIOR FINISH MATERIALS SHOULD HAVE LOW REFLECTANCE, HAVE VARIED TEXTURES, AND UTILIZE NATURAL EARTH TONE HUES. EXAMPLES OF PERMITTED MATERIALS INCLUDE: BRICK, STUCCO, STONE, SPLIT-FACED BLOCK, CUT STONE, CEDAR AND/OR HIGH EFFICIENCY, LOW MAINTENANCE MATERIALS THAT MIMIC NATURAL MATERIALS.
- C3. THE USE OF THREE (3) OR MORE COLORS IS ENCOURAGED.
- C4. WALL, TRIM, ACCENT, ROOF AND MASONRY COLORS SHALL BE COORDINATED.

DESIGN STANDARDS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENT:

ARCHITECTURAL DESIGN CONCEPT

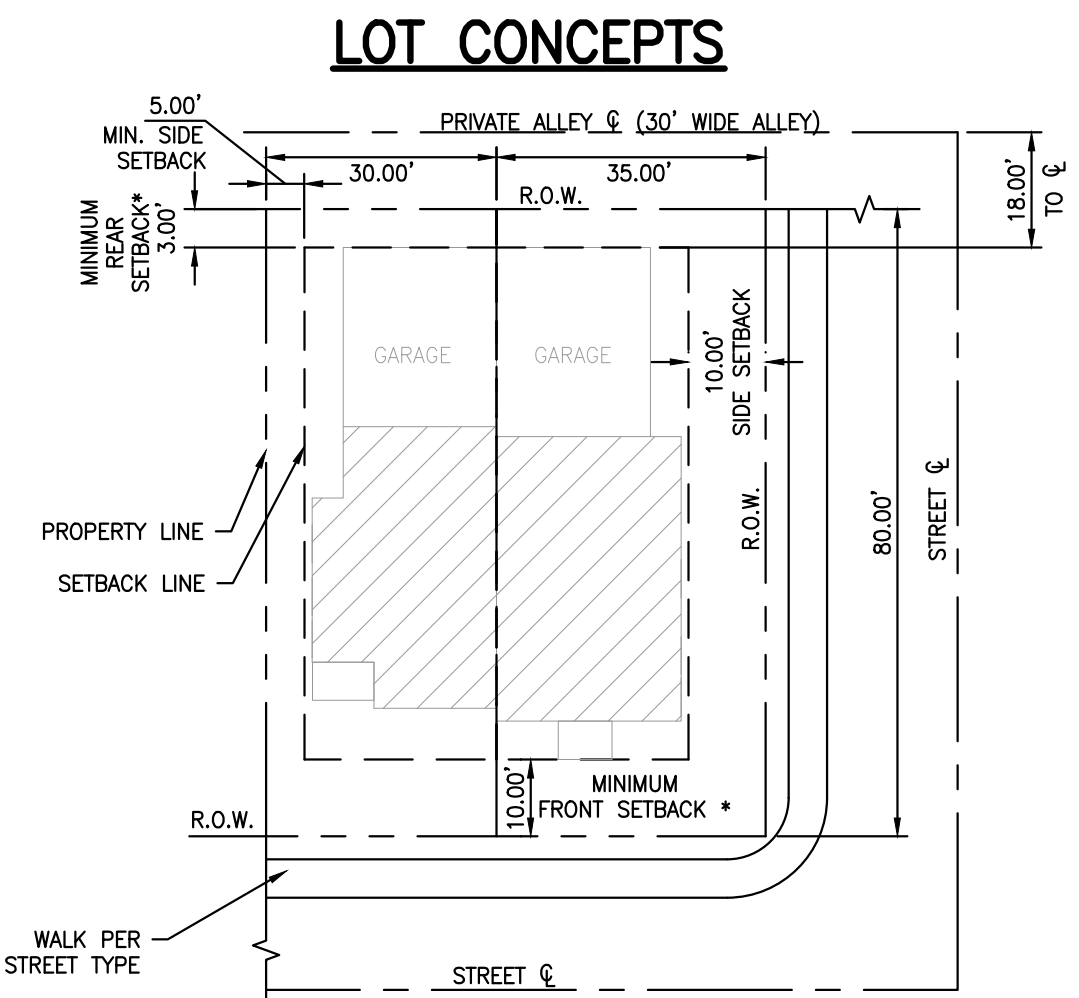
- A1. OVERALL CHARACTER OF THE DEVELOPMENT SHOULD BE DEFINED THROUGH THE USE OF A CONSISTENT DESIGN CONCEPT.
- A2. PROJECTS SHALL INCORPORATE THE CONTEXT OF ADJACENT AND SURROUNDING PROJECTS, YET BE ORIGINAL IN DESIGN.

B. FORM AND MASSING

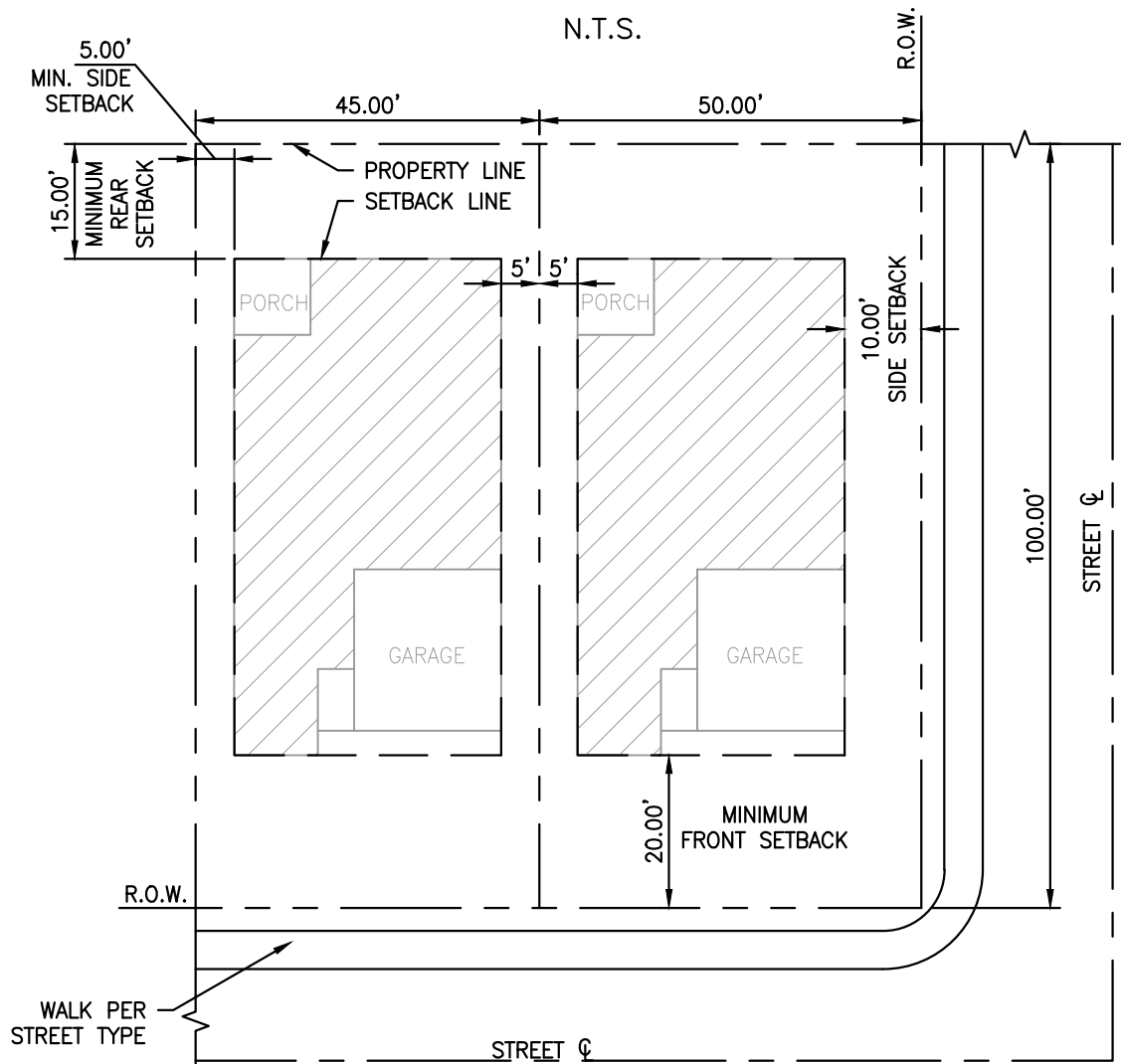
- B1. VARIATION OF WALL PLANES, ROOFLINES, AND BUILDING FORM SHALL BE INCORPORATED TO CREATE VISUALLY ENGAGING DESIGNS. ARCHITECTURAL ELEMENTS SUCH AS VARIED ROOF FORMS, ARTICULATION OF THE FAÇADE, BREAKS IN THE ROOF, WALLS WITH TEXTURE MATERIALS AND ORNAMENTAL DETAILS, AND LANDSCAPING SHOULD BE INCORPORATED TO ADD VISUAL INTEREST. BALCONIES AND DECKS SHOULD BE INCORPORATED INTO 2-STORY OR HIGHER BUILDINGS TO REDUCE THE VISUAL IMPACT OF TALL STRUCTURES. ARCHITECTURAL ELEMENTS SUCH AS PENETRATIONS AND RECESSED PLANES SHALL BE INCORPORATED INTO FAÇADE DESIGN. ROOF HEIGHT, PITCH, RIDGELINES, AND ROOF MATERIALS SHOULD BE VARIED TO CREATE VISUAL INTEREST AND AVOID REPETITION. ARCHITECTURAL STYLE SHALL BE CONSIDERED WHEN DESIGNING THE ROOF PLAN.
- B2. PROPORTIONAL RELATIONSHIP BETWEEN ADJACENT BUILDINGS AND BETWEEN THE BUILDING AND THE STREET SHOULD BE MAINTAINED. BUILDING LAYOUT SHOULD ENSURE THE GRADUAL TRANSITION OF BUILDING HEIGHT AND MASS. PEDESTRIAN SCALED ENTRY SHOULD BE A PROMINENT FEATURE OF THE FRONT ELEVATION.
- B3. PLACEMENT AND CONFIGURATION OF PARKING AREAS, GARAGES, AND CARPORTS SHALL BE INCORPORATED.
- B4. DESIGN VARIATIONS IN BUILDING ORIENTATIONS TO OTHER BUILDINGS.
- B5. INCORPORATE VARIATION IN BUILDING FOOTPRINTS AND FAÇADES TO BREAK UP THE BULK OF THE BUILDING.

C. EXTERIOR BUILDING MATERIALS AND COLOR

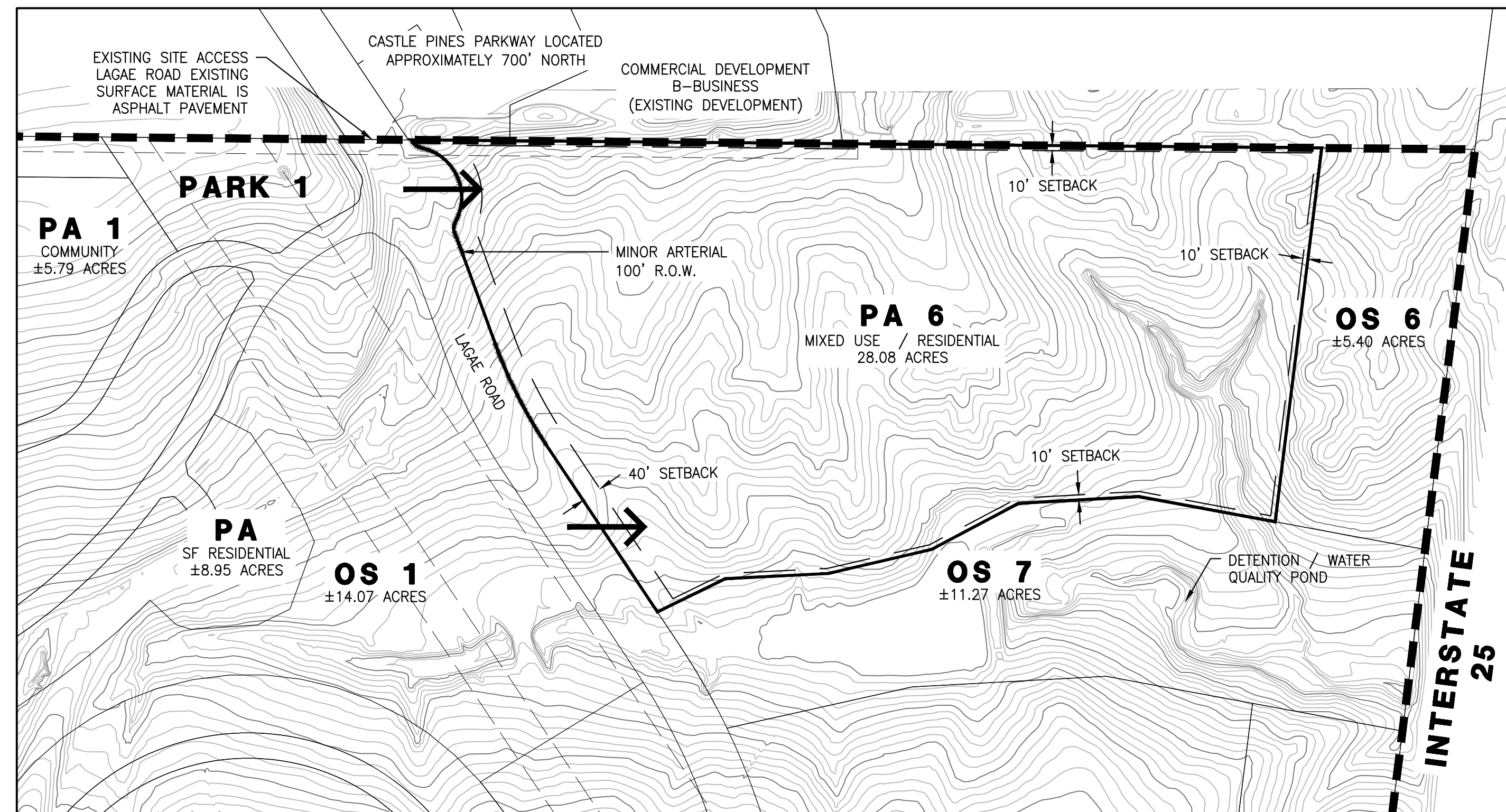
- C1. VARIATION IN COLOR AND MATERIALS SHALL BE INCORPORATED TO CREATE VISUALLY ENGAGING DESIGNS. EARTH TONES ARE PREFERRED. HIGH QUALITY AND DURABLE MATERIALS, SUCH AS STONE, BRICK, ARE ENCOURAGED. CREATIVE AND APPROPRIATE USE OF COLOR IS ENCOURAGED. USE OF COLOR SHOULD BE CONSISTENT WITH THE OVERALL ARCHITECTURAL STYLE OR THEME OF THE PROJECT. VARIATION IN EXTERIOR TREATMENT OF ADJACENT BUILDINGS IS ENCOURAGED.
- C2. ARCHITECTURAL TREATMENT SHALL BE APPLIED TO ALL ELEVATIONS OF A BUILDING. THE USE OF MULTIPLE COLORS IS HIGHLY ENCOURAGED. WALL PLANE VARIATION, BUILDING MASS VARIATION, AND WINDOW PLACEMENT SHALL ALSO BE INCORPORATED.
- C3. ARCHITECTURAL FEATURES THAT ENHANCE THE FAÇADE OR BUILDING FORM ARE ENCOURAGED. ARCHITECTURAL FEATURES SUCH AS DECORATIVE MOLDINGS, WINDOWS, SHUTTERS, CHIMNEYS, BALCONIES AND RAILINGS ARE ENCOURAGED.
- C4. USE A VARIETY OF CONTRASTING BUT COMPATIBLE COLORS AND MATERIALS TO CREATE CONTRAST AND DEPTH IN THE FAÇADE.
- C5. DEVELOPMENTS SHOULD BE DESIGNED TO PROVIDE VISUAL INTEREST WHILE STILL CREATING A UNIFIED IMAGE.
- C6. FRONT FAÇADES OF A BUILDING AND FAÇADES THAT ARE SIGNIFICANTLY EXPOSED TO THE PUBLIC VIEW, SHOULD EXHIBIT HIGH LEVELS OF DESIGN, DETAILING, AND MATERIAL QUALITY. FRONT FAÇADES SHOULD BE DESIGNED TO PROVIDE A VISUAL INTEREST TO THOSE ON THE STREET.



SINGLE FAMILY ATTACHED (30'x80')



SINGLE FAMILY DETACHED (45'x100')



LEGEND

- LAGAE RANCH PROPERTY BOUNDARY
- PLANNING AREA BOUNDARY
- EASEMENT
- PROPOSED VEHICULAR ACCESS

PLANNING AREA EXHIBIT

SCALE 1"=200'

DEVELOPMENT STANDARDS

PLANNING AREA	MAX DENSITY	MINIMUM LOT SIZE (SF)	MINIMUM SETBACKS										BUILDING HT. MAXIMUM		
			STREET / FRONT				BLDG SEPARATION	REAR			PROJECT BOUNDARY (2)	MINOR ARTERIAL		MAJOR ARTERIAL	MAJOR COLLECTOR
			STRUCTURE (1)	COVERED PORCH (1)	GARAGE (1)	SIDE (1) (5)		STRUCTURAL (1)	ALLEY (1)	ACCESSORY (1)					
PA-6	145 SF DU, 5.2 DU/AC	2,400sf (SFA) 4,500sf (SFD)	10'-0" (SFA)(6)	10'-0" (SFA)(6)	N/A	0' OR 5'-0" (SFA) 5'-0" (SFD)	0' OR 10'	3'-0"(SFA)(6)	3'-0"(SFA)(6)	3'-0"(SFA)(6)	10'-0"	40'-0"	100'-0"	NONE	35'-0"
	400 MFR DU, 14.84 DU/AC	NONE	0	NONE	NONE	0	10	0	NONE	5'	10'-0"	40'-0"	100'-0"	NONE	50'-0"

1. MEASURED FROM THE PROPERTY LINE.
2. PROJECT BOUNDARY REFERS TO THE OUTSIDE PERIMETER OF AN INDIVIDUAL LAND USE TYPE CONSTRUCTED BY A SINGLE DEVELOPER ABUTTING A DIFFERENT LAND USE TYPE, INCLUDING OPEN SPACE USES.
3. A 2'-0" ENCROACHMENT INTO THE MINIMUM SETBACKS WILL BE ALLOWED FOR CHIMNEYS, CANTILEVERS AND BAY WINDOWS AND EAVES.
4. SETBACKS AND LOT MINIMUMS ARE PROPOSED STANDARDS DEVELOPED SPECIFICALLY FOR THIS SITE.
5. UNITS ADJACENT TO STREETS SHALL HAVE A 10' SIDE SETBACK.
6. FRONT SETBACK CAN BE REDUCED TO 7FT MINIMUM ONLY IF REAR IS INCREASED TO 4FT MINIMUM

LAGAE RANCH PLANNED DEVELOPMENT, 2ND MINOR AMENDMENT PLANNING AREA EXHIBIT & DEVELOPMENT STANDARDS

PLANNER/ENGINEER:
 RICK ENGINEERING COMPANY
 9801 EAST EASTER AVE
 CENTENNIAL, CO 80112
 303-565-8020

PREPARED FOR:
 MERITAGE HOMES
 8400 E. CRESCENT PARKWAY, SUITE 200
 GREENWOOD VILLAGE, CO 80111

DATE: JUNE 18, 2019

SHEET:
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