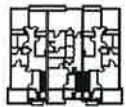


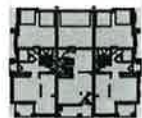
LAND USE CHART

Total Area: 15.87 acres
 Density: 10.46 du/ac
 Developable Area: 12.33 acres
 Developable Density: 13.46 du/ac
 Total Units: 166 units

Units (Candelas, Interior): 79
 Front Setback: 10'
 Rear Setback: 6'
 Corner Setback: 10'
 Minimum Lot Size: 20' x 66'

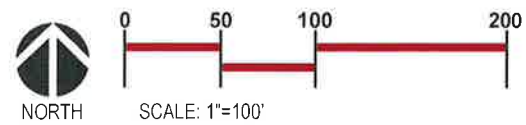


Units (Bellevue, Exterior): 87
 Front Setback: 10'
 Rear Setback: 6'
 Corner Setback: 10'
 Minimum Lot Size: 22' x 72'



Face/Face Bldg. Separation: 30' min.
 Side/Side Bldg. Separation: 20' min.
 ROW Width: 55'
 Alley Width: 30'

Unit Garage Parking (2/unit): 332 spaces
 Unit Drive Parking (2/unit): 126 spaces
 Off-Street Guest Parking: 37 spaces
 Street Parking: 99 spaces
 Total Parking: 594 spaces





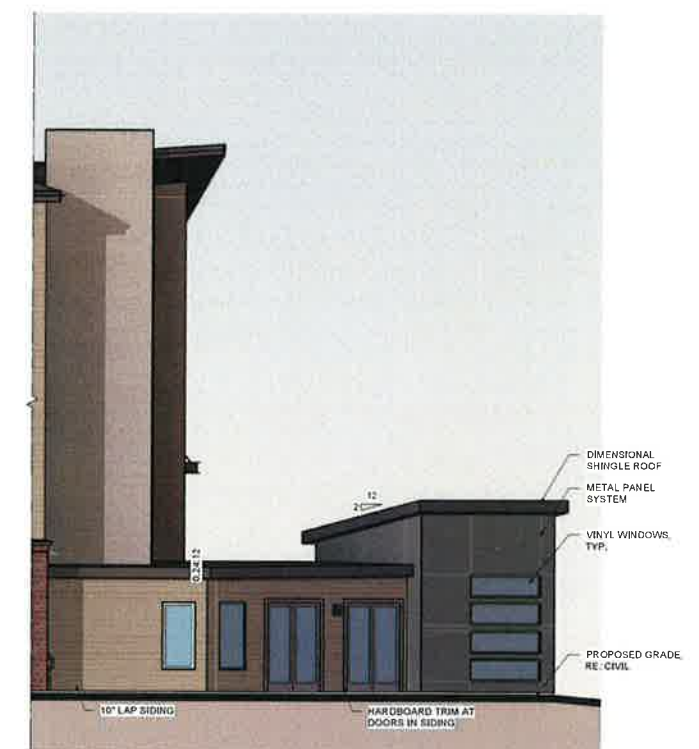




4 SCHEME A - LEFT ELEVATION
1/8" = 1'-0"



2 AMENITY SPACE - FRONT ELEVATION
1/8" = 1'-0"



3 BUILDING 1 - PARTIAL FRONT ELEVATION
1/8" = 1'-0"



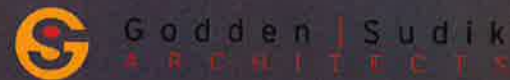
1 SCHEME A - FRONT ELEVATION
1/8" = 1'-0"



CENTURY 485 INTERLOCKEN | CONDOMINIUM PERSPECTIVE

NOVEMBER 16TH, 2018 | BROOMFIELD, CO

p. 17

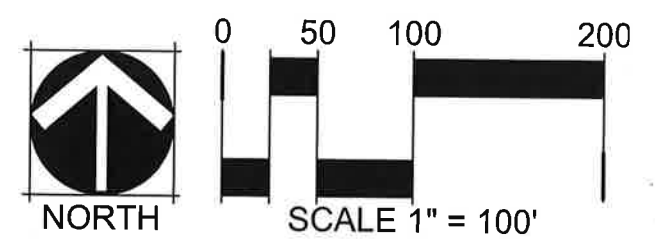




SITE DATA TABLE

| | |
|--------------------------------|--------------|
| Area: | ~18.75 acres |
| Density: | ~10.51 du/ac |
| Total Units: | 197 |
| Units (Candelas): | 125 |
| Front Setback: | 10' |
| Rear Setback: | 6' |
| Corner Setback: | 10' |
| Min. Lot Size: | 20'x66' |
| Units (Condo): | 72 |
| Townhome Garage Spaces: | 250 |
| Total Condo Spaces: | 152 |
| Condo Building: 64 | |
| Condo Surface: 88 | |
| Total Parking Spaces: | 402 |
| Spaces/Unit: | 2.04 |
| Face-Face Building Separation: | 30' min. |
| Side-Side Building Separation: | 20' min. |
| ROW Width: | 55' |
| Alley Width: | 30' |

**LAGAE RANCH
OPTION 3**



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166

www.norris-design.com

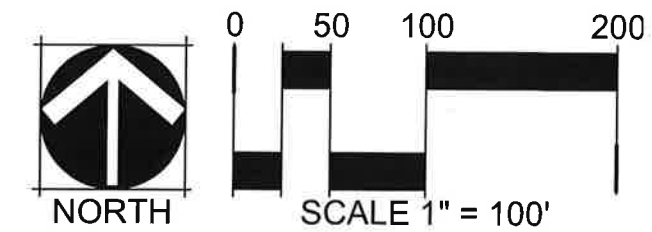




SITE DATA TABLE

| | |
|---------------------------------|-------------|
| Area: | 15.87 ac |
| Density: | 10.46 du/ac |
| Developable Area | 12.33 ac |
| Developable Density | 13.46 du/ac |
| Total Units: | 166 |
| | |
| Units (Candelas, interior): | 79 |
| Front Setback: | 10' |
| Rear Setback: | 6' |
| Corner Setback: | 10' |
| Min. Lot Size: | 20'x66' |
| | |
| Units: (Bellevue, exterior) | 87 |
| Front Setback: | 10' |
| Rear Setback: | 6' |
| Corner Setback: | 10' |
| Min. Lot Size: | 22'x72' |
| | |
| Face-Face Building Separation: | 30' min. |
| Side-Side Building Separation: | 20' min. |
| ROW Width: | 55' |
| Alley Width: | 30' |
| | |
| Unit Garage Parking (2/unit): | 332 |
| Unit Driveway Parking (2/unit): | 126 |
| Off-Street Guest Spaces: | 37 |
| Street Parking: | 99 |
| Total Spaces | 594 |

LAGAE RANCH OPTION 1



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