

March 1, 2019

Mr. Samuel L. Bishop AICP
Community Development Director
360 Village Square Lane Suite B
Castle Pines, Co 80108

RE: Proposed Replat: Lot 2A-1 and Lot 2A-2 Charter Oaks
Proposed Site Improvement Plan (SIP)
Castle Pines, Colorado

Dear Mr. Bishop:

Covenant RE Management, Inc. ("Covenant") is pleased to submit for your review and approval the proposed replat to subdivide and existing lot into two parcels described above. This site is currently zoned for Business Uses and a Site Improvement Plan has been submitted in support of the proposed development proposal. The current undeveloped lot(s) are located within an existing mixed use shopping center which has an established anchor grocery store, a bank, restaurants and other service and retail businesses which serve the Castle Pines Community. Covenant proposes to build a 4,365 s.f. multi-tenant commercial building which will house a dental office and restaurant. The proposal will reside on the created northerly lot which we are defining as Lot 2A-1, Charter Oaks. The newly created southerly lot (2A-2) is to be developed later by others.

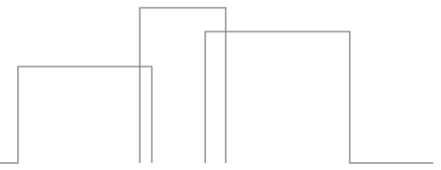
- a. Total Land Area: 22
- b. Number of Lots: 2
- c. The open space on the proposed developed lot 2A-1 is 5,867.60 SF which is 19.7 % of the created lot area.
- d. Phasing: There will be one phase of development proposed with this application. The replat will create a second lot that will be developed at a future undetermined date.

The Castle Pines Design Guidelines have been reviewed and implemented to align with the following recommended criteria:

Architecture

The proposed building designs provided respond to the request to demonstrate how a future phase development on the southern site (lot 2A-2) aligns visually and harmoniously with the SIP application for the northern lot. Our proposed building on the northern lot 2A-1 provides a distinctive and elegant color palette, facade treatment, and a façade modulation to create the visual interest desired at a pedestrian level. As this is an infill development and there are existing structures and established architectural character, we feel that it is important not to reinvent the established character of the center, but to elevate the architectural façade treatments and make this the jewel of the center.

The proposed mixed use building will be one story structures with a varied parapet roof line.



Site Planning and Design

Building orientation of the proposed structures with primarily entrance to the interior of the existing shopping center with elevated façade treatments on the exterior of the structure facing the public roads so as not to create a “back of house” appearance. Walkways have been included to minimize hard surfaces within the limited space of the created lot to connect both to internal pedestrian walkways but also provide connectivity to public walkways. Within the existing mixed use shopping center there are existing drive aisles, pedestrian routes, and parking centrally located which serve the businesses in the perimeter locations. There will be no on street parking. The proposed Dental Office/Restaurant will utilize the pre-established access locations to the adjoining constructed vehicular roads. Internal parking, circulation and pedestrian walkways which will be constructed with ADA compliance and appropriate zoning compliance. The extension of the paved surface from the back of curb extending to the face of the proposed building will provide location for moveable seating.

The established parking lot and predominately constructed shopping center has existing lighting, a photometric plan has been provided to demonstrate proposed lot lighting compliance.

Building Signage will be submitted under a separate application with the proposed building permit and will meet all the requirements of the zoning ordinance.

Landscape Design has been provided to create year-round visual interest. The proposed varieties have been chosen to be disease resistant and provide seasonal color. There are some existing trees on the site which are to remain, the proposed plant species are located to not impede existing plant health and will enhance the building architectural design with a regionally appropriate palette which have been designed by a Landscape Architect licensed in the State of Colorado.

If you have any questions or comments regarding the foregoing, please contact me or any member of my design team listed below. We look forward to hearing from you at your earliest convenience.

Sincerely,

Julie A. Margetich. N.C.A.R.B.

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