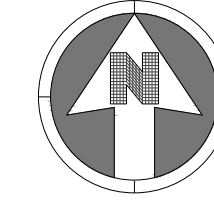
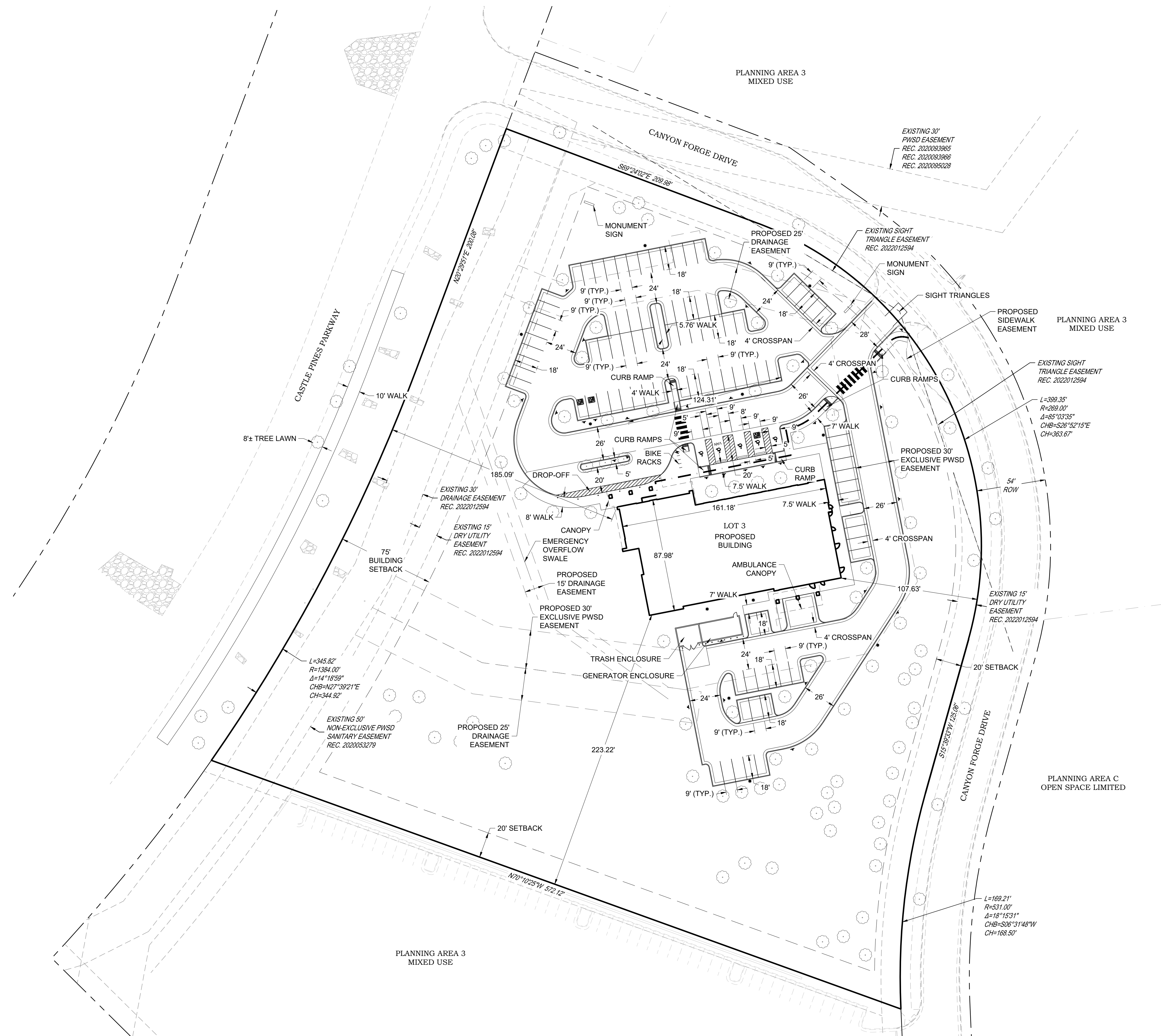


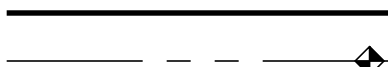
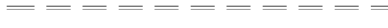
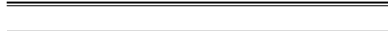
CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
NW1/4 & SW1/4 Section 2, Township 7 South, Range 67 West
Planning Area 3 - 5.78 Acres
Site Improvement Plan -- SIP-2026-001



40 0 40

SCALE: 1" = 40'

LEGEND:

	PROPERTY LINE
	SECTION LINE
	RIGHT OF WAY LINE
	EXISTING CURB AND GUTTER
	EXISTING SIDEWALK
	EXISTING EASEMENT
	EXISTING SIGN
	EXISTING LIGHT
	EXISTING TREE
	PROPOSED CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED EASEMENT
	PROPOSED ADA PATH
	PROPOSED SIGN
	PROPOSED LIGHT
	PROPOSED TREE

PROJECT	257483.00
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**ADVENTHEALTH
CASTLE PINES**

SITE IMPROVEMENT PLAN

DATE	06/05/2026
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REVISIONS

#	DESCRIPTION	DATE
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APPROVAL CERTIFICATE

ENGINEERING	_____
	INITIALS/DATE
PLANNING	_____
	INITIALS/DATE
OWNER	_____
	INITIALS/DATE
LESSEE (IF APPLICABLE)	_____
	INITIALS/DATE

SHEET TITLE

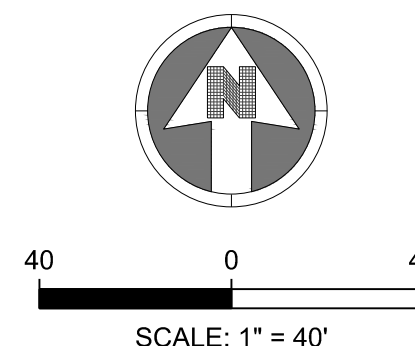
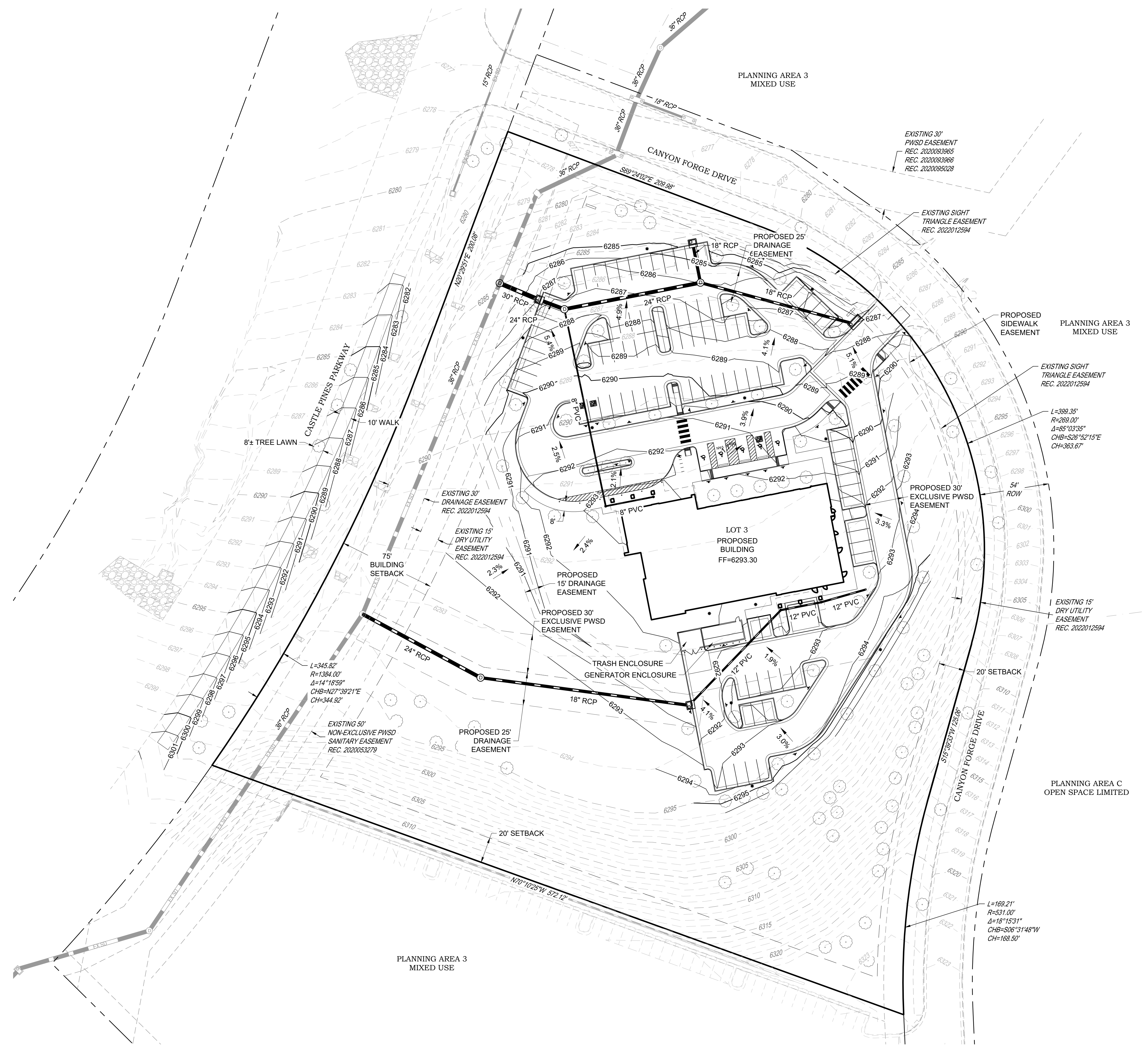
SITE PLAN

SHEET NUMBER

2 OF 16

THIS LINE IS 1 INCH LONG WHEN PRINTED TO FULL SCALE

CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
NW1/4 & SW1/4 Section 2, Township 7 South, Range 67 West
Planning Area 3 - 5.78 Acres
Site Improvement Plan -- SIP-2026-001



LEGEND:

---	5343	---	EXISTING MINOR CONTOURS
---	5345	---	EXISTING MAJOR CONTOURS
---	5343	---	PROPOSED MINOR CONTOURS
---	5345	---	PROPOSED MAJOR CONTOURS
---	EX 30	---	EXISTING STORM LINE
---		---	EXISTING EASEMENT
---		---	EXISTING STORM INLET
---		---	EXISTING STORM MANHOLE
---		---	PROPOSED STORM LINE
---		---	PROPOSED EASEMENT
---		---	PROPOSED STORM INLET
---		---	PROPOSED STORM MANHOLE

BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

PROJECT 257483.00

**ADVENTHEALTH
CASTLE PINES**

**SITE IMPROVEMENT
PLAN**

DATE 06/05/2026

REVISIONS

DESCRIPTION	DATE
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APPROVAL CERTIFICATE

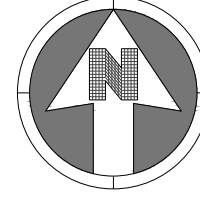
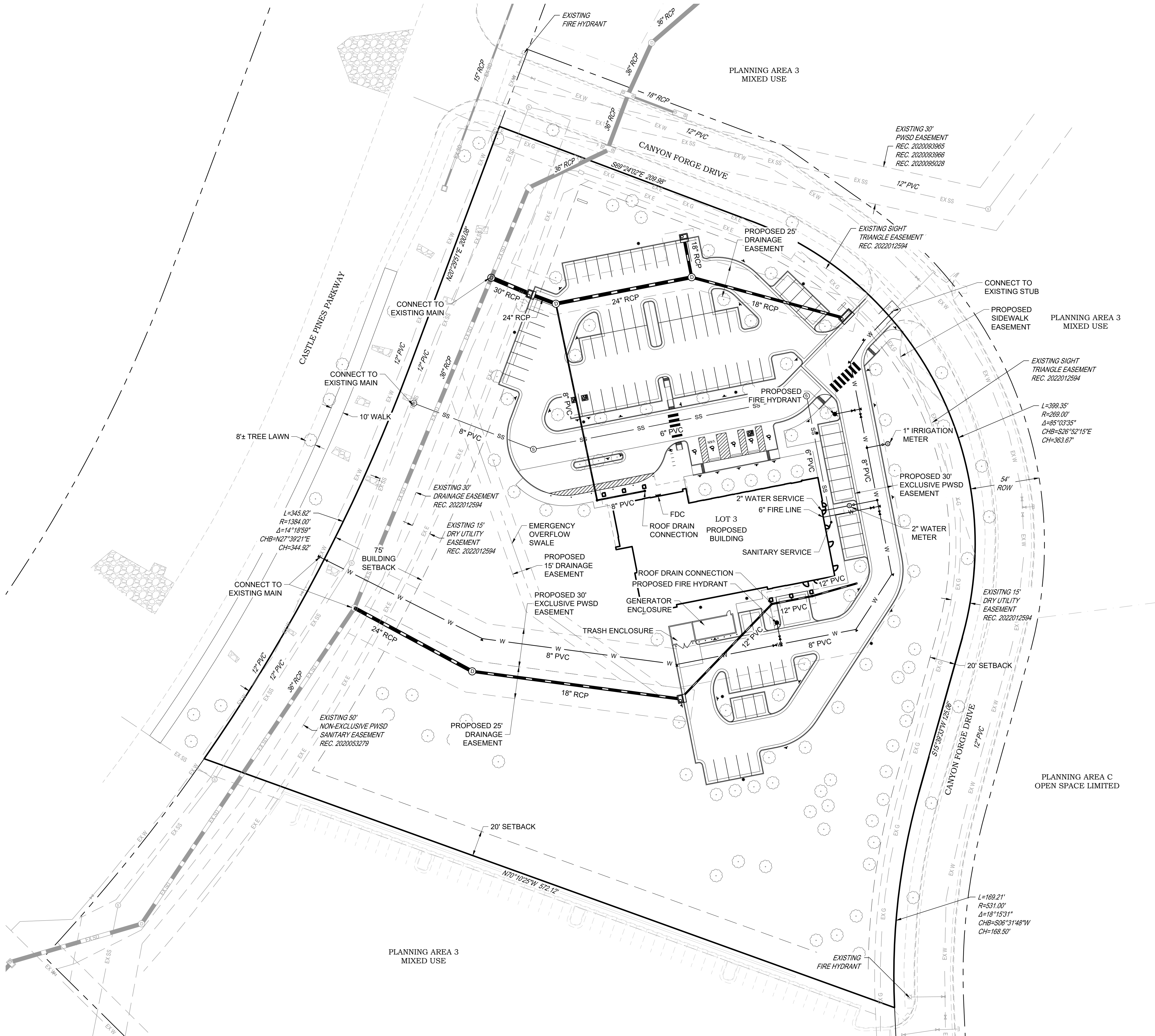
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PLANNING	INITIALS/DATE
OWNER	INITIALS/DATE
LESSEE (IF APPLICABLE)	INITIALS/DATE

SHEET TITLE
GRADING PLAN

SHEET NUMBER
3 OF 16

THIS DRAWING IS UNLESS OTHERWISE NOTED TO FULL SCALE

CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
NW1/4 & SW1/4 Section 2, Township 7 South, Range 67 West
Planning Area 3 - 5.78 Acres
Site Improvement Plan -- SIP-2026-001



40 0 40

SCALE: 1" = 40'

LEGEND:

_____	EX E	EXISTING ELECTRICAL LINE
_____	EX FO	EXISTING FIBER OPTIC LINE
_____	EX G	EXISTING GAS LINE
_____	EX T	EXISTING TELEPHONE LINE
_____	EX SS	EXISTING SANITARY LINE
 _____	EX SD	EXISTING STORM INLET
_____	EX W	EXISTING WATER LINE
_____		EXISTING EASEMENT
		EXISTING STORM INLET
●		EXISTING CLEANOUT
		EXISTING FIRE HYDRANT
		EXISTING WATER VALVE
   		EXISTING MANHOLES
  		
_____	E	PROPOSED ELECTRICAL LINE
_____	FO	PROPOSED FIBER OPTIC LINE
_____	G	PROPOSED GAS LINE
_____	T	PROPOSED TELEPHONE LINE
_____	SS	PROPOSED SANITARY LINE
		PROPOSED STORM LINE
_____	W	PROPOSED WATER LINE
_____		PROPOSED EASEMENT
		PROPOSED STORM INLET
●		PROPOSED CLEANOUT
		PROPOSED FIRE HYDRANT
		PROPOSED WATER VALVE
 		PROPOSED WATER FITTINGS
   		PROPOSED MANHOLES

APPROVAL CERTIFICATE

ENGINEERING	_____
	INITIALS/DATE
PLANNING	_____
	INITIALS/DATE
OWNER	_____
	INITIALS/DATE
LESSEE (IF APPLICABLE)	_____
	INITIALS/DATE

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

4 OF 16



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

PROJECT	257483.00
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**ADVENTHEALTH
CASTLE PINES**

SITE IMPROVEMENT PLAN

DATE 06/05/2026

REVISIONS

	DESCRIPTION	DATE
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CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
NW1/4 & SW1/4 Section 2, Township 7 South, Range 67 West
Planning Area 3 - 5.78 Acres
Site Improvement Plan -- SIP-2026-001

PLANTING SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	SPACING	HEIGHT	WIDTH	WATER
DECIDUOUS SHADE TREES								
WCA	<i>Catalpa speciosa</i>	Western Catalpa	2.5" cal.	4	as shown	40-60'	30-50'	L
CHB	<i>Celtis occidentalis</i>	Common Hackberry	2.5" cal.	17	as shown	40-60'	40-60'	L
SHL	<i>Gleditsia Triacanthos Inermis 'Shademaster'</i>	Shademaster Honeylocust	2.5" cal.	12	as shown	50'	35'	L
KCT	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	2.5" cal.	4	as shown	50-60'	40-50'	L
NRO	<i>Quercus rubra</i>	Northern Red Oak	2.5" cal.	14	as shown	40-60'	40-60'	M
CKO	<i>Quercus muhlenbergii</i>	Chinkapin Oak	2.5" cal.	7	as shown	40 - 50'	40-50'	L
ASL	<i>Tilia americana 'American Sentry'</i>	American Sentry Linden	2.5" cal.	22	as shown	40 - 50'	25-30'	L
TOTAL				80				
EVERGREEN TREES								
APN	<i>Pinus nigra</i>	Austrian Pine	6'	18	as shown	50'	20-25'	L
VVP	<i>Pinus flexilis 'Vanderwolf's Pyramid'</i>	Vanderwolf's Pyramid Limber Pine	6'	10	as shown	20'	10'	M
TOTAL				28				
ORNAMENTAL TREES								
ABS	<i>Amelanchier x grandiflora (multi-stem)</i>	Autumn Brilliance Serviceberry	2" cal.	8	as shown	15 - 20'	10'	M
ABP	<i>Pyrus calleryana 'Autumn Blaze'</i>	Autumn Blaze Pear	2" cal.	7	as shown	30'	25'	M
TOTAL				15				
DECIDUOUS SHRUBS								
ADG	<i>Cornus sericea Arctic Fire</i>	Arctic Fire Dogwood	#5	85	3' o.c.	3-4'	3-4'	M
RTD	<i>Cornus sericea</i>	Redtwig Dogwood	#5	23	6' o.c.	6-8'	6-10'	M
CPB	<i>Berberis thunbergii 'Atropurpurea nana'</i>	Crimson Pygmy Barberry	#5	74	2' o.c.	2'	3'	L
BFB	<i>Buddleja davidii 'Black Knight'</i>	Black Knight Butterflybush	#5	81	4' o.c.	6-8'	4-6'	M
CMD	<i>D. x burkwoodi 'Carol Mackie'</i>	Carol Mackie Daphnie	#5	30	4' o.c.	3'	4'	M
DKS	<i>Caryopteris x clandonensis 'Dark Knight'</i>	Dark Knight Spirea	#5	43	3' o.c.	3-4'	3-4'	L
ALS	<i>Rhus trilobata 'Autumn Amber'</i>	Autumn Amber Sumac	#5	10	4' o.c.	10-14"	4-6'	L
GLS	<i>Rhus aromatica 'Grow Low'</i>	Gro-Low Sumac	#5	180	8' o.c.	3'	8'	L
PBS	<i>Prunus besseyi 'Pawnee Buttes'</i>	Pawnee Buttes Sand Cherry	#5	55	3.5' o.c.	1-2'	4-6'	M
GMC	<i>Ribes alpinum</i>	Green Mound Currant	#5	9	3' o.c.	3-4'	2-3'	L
MKL	<i>Syringa patula 'Miss Kim'</i>	Miss Kim Dwarf Lilac	#5	64	4' o.c.	3-5'	3-5'	L
TOTAL				654				
ORNAMENTAL GRASS								
BAG	<i>Helictotrichon sempervirens</i>	Blue Avena Grass	#1	241	24" o.c.	2-3'	2'	M
MDG	<i>Miscanthus sinensis 'Gracillimus'</i>	Maiden Grass	#1	86	4' o.c.	4-5'	2-5'	L
DFG	<i>Pennisetum alopecuroides 'Hameln'</i>	Hardy Fountain Grass (Dwarf)	#1	236	2' o.c.	2-3'	2'	L
TOTAL				536				

PLANTING NOTES - CITY OF CASTLE PINES

- ALL TREES ARE TO BE PLANTED A MINIMUM OF 10 FEET FROM THE FACE OF THE CURB OF ARTERIAL AND MAJOR COLLECTOR ROADWAYS AND A MINIMUM OF 6 FEET FROM THE FACE OF THE CURB OF MINOR COLLECTOR AND LOCAL STREETS. TREES LOCATED WITHIN 150 FEET OF AN INTERSECTION WITH AN ARTERIAL ROAD MUST BE PLANTED A MINIMUM OF 10 FEET FROM THE FACE OF THE CURB AND OUTSIDE OF ANY LINE-OF-SIGHT REQUIREMENTS. THE REQUIRED DISTANCE OF 150 FEET IS MEASURED FROM THE RIGHT-OF-WAY LINE OF THE ARTERIAL ROADWAY.
- TREES OR LARGE SHRUBS SHALL NOT BE LOCATED OVER BURIED UTILITIES, WITHIN 10 FEET OF STORM SEWER SYSTEMS, OR WITHIN THE LINE-OF-SIGHT AT INTERSECTIONS, ACCESSES, OR PEDESTRIAN CROSSINGS.
- ALL PLANTINGS LOCATED WITHIN THE LINE-OF-SIGHT WILL HAVE A MATURE HEIGHT OF NO MORE THAN 24 INCHES ABOVE THE ADJACENT GUTTER OR FLOWLINE.
- A RIGHT-OF-WAY PERMIT IS REQUIRED PRIOR TO LANDSCAPING ACTIVITY WITHIN CITY RIGHTS-OF-WAY, TRACTS, OR EASEMENTS.
- ANY WALL OR MONUMENT, OVER 4 FEET IN HEIGHT, OR UNDER A SURCHARGED CONDITION, OR WITH A RAIL ON TOP OF THE WALL REQUIRES A PERMIT FROM THE CITY PRIOR TO CONSTRUCTION. STRUCTURAL PLANS FOR ANY WALL OVER 4 FEET IN HEIGHT (MEASURED FROM BOTTOM OF FOOTER TO TOP OF WALL) OR TIERED WALLS, AS DETERMINED BY THE CITY, WILL BE SUBMITTED TO THE CITY PRIOR TO THE ISSUANCE OF THE REQUIRED BUILDING PERMIT. NO WALLS OR MONUMENTS ARE ALLOWED IN THE CITY'S RIGHT-OF-WAY.
- A PERMIT MUST BE OBTAINED FROM THE CITY PRIOR TO THE INSTALLATION OF MONUMENTATION AND PLANTERS OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, INCLUDING THOSE WITHIN THE RIGHT-OF-WAY OF PRIVATE STREETS. AN ADDITIONAL PERMIT MAY BE OBTAINED FROM THE CITY FOR LIGHTING OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, INCLUDING LIGHTING FOR MONUMENTATION AND PLANTERS.
- A TRAFFIC CONTROL PLAN SHALL ACCOMPANY THE APPLICATION FOR A RIGHT-OF-WAY PERMIT.
- TRENCH DRAINS SHALL NOT HAVE ANGLES GREATER THAN 45 DEGREES.
- MAXIMUM SPACING BETWEEN TRENCH DRAIN CLEANOUTS SHALL BE 200 FEET.
- TRENCH DRAINS SHALL NOT DISCHARGE INTO THE GUTTER OR FLOWLINE.
- TRENCH DRAIN CROSSINGS UNDER PAVEMENT SHALL BE INSTALLED PRIOR TO PAVING, OR SHALL BE INSTALLED BY BORING UNDER ROADWAY.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, AND SIMILAR FEATURES ARE NOT SHOWN ON THE SIP, ADDITIONAL LANDSCAPE AND SCREENING MAY BE REQUIRED BASED ON FIELD CONDITIONS DURING THE SITE INSPECTION PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION, AS APPLICABLE.

NATIVE GRASS - UPLAND

BOTANICAL NAME	COMMON NAME	VARIETY	PLS² / ACRE	OZ. / ACRE
<i>Bouteloua curtipendula</i>	Side Oats Grama	Vaughn	10	2.74
<i>Bouteloua curtipendula</i>	Bouteloua gracilis	Alma or Hachita	16	1.01
<i>Buffalograss</i>	Buchloe dactyloides	Plains, Sharp's Improved, Cody, Bowie	8	7.47
<i>Elymus canadensis</i>	Canada Wildrye		4	1.09
<i>Elymus trachycaulus</i>	Slender Wheatgrass	San Luis, First Strike, or Pryor	10	3.29
<i>Panicum virgatum</i>	Switchgrass	Ariba	4	0.54
<i>Pascopyrum smithii</i>	Western Wheatgrass	Arriba	14	4.75
<i>Schizachyrium scoparium</i>	Little Bluestem	Cimarron or Pastura	6	1.21
<i>Nassella viridula</i>	Green Needlegrass	Lodorm	6	1.73
<i>Artemisia frigida</i>	Fringed Sage	VNS	3	0.03
<i>Gaillardia aristata</i>	Blanketflower	Native or Meriweather	5	1.98
<i>Heterotheca villosa</i>	Yellow Aster	VNS	3	0.23
<i>Ratibida columnifera</i>	Yellow Coneflower	Native or Stillwater	5	0.29
Sub-Totals:			100	32.43
Total lbs per acre:				100.32

GENERAL NOTES:

- THE BASE INFORMATION PROVIDED BY ENGINEER. REFER TO SURVEY, PLAT, ROADWAY AND UTILITY DRAWINGS AND OTHER AVAILABLE DOCUMENTS FOR PROPERTY LIMITS, EXISTING CONDITIONS, AND HORIZONTAL AND VERTICAL CONTROL. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL MATERIAL LOCATIONS AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES THAT ARE FOUND.
- THE CONTRACTOR SHALL HAVE ONE (1) APPROVED COPY OF PLANS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES. THOROUGHLY REVIEW THE SITE CONDITIONS, DRAWINGS, AND TECHNICAL SPECIFICATIONS PRIOR TO CONSTRUCTION. COMPLETE THE WORK OF THIS PROJECT IN ACCORDANCE WITH APPROVED DRAWINGS.
- ANYTHING MENTIONED IN THE TECHNICAL SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE TECHNICAL SPECIFICATIONS SHALL NOT BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES. REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL SIZED DRAWINGS ONLY. DO NOT SCALE FROM DRAWINGS.
- CONTRACTOR IS ADVISED THAT ALL EXISTING TREES AND SHRUBS ARE TO REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED IN THE PLANS. CARE SHALL BE TAKEN TO PROTECT ALL TREES AND SHRUBS FROM DAMAGE DURING CONSTRUCTION. ALL DAMAGES CAUSED BY THE CONTRACTOR S SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONSTRUCTION BARRICADES, SIGNS, AND WARNING DEVICES NECESSARY DURING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON SITE AT ALL TIMES DURING CONSTRUCTION.
- LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY PERMITS TO PERFORM ALL PROPOSED WORK AND SHALL COMPLY WITH ALL NOTIFICATION AND INSPECTION REQUIREMENTS.
- CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- BEFORE COMMENCING WORK, CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH THE GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, (ETC). LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MODIFICATIONS OR DAMAGES TO THE UTILITY LINES, STRUCTURES OR INJURIES THEREFROM. FOR EXISTING UTILITY INFORMATION CONTACT "THE UTILITY NOTIFICATION CENTER OF COLORADO" AT 1-800-922-1987. A MINIMUM OF THREE (3) BUSINESS DAY NOTICE IN ADVANCE OF LOCATIONS NEEDED ARE REQUIRED.
- CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPE & HARDSCAPE MATERIALS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.; MULCH, EDGER, SANDSTONE BOULDERS (ETC).
- ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED AND MAINTAINED FOR ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORNE BY THE CONTRACTOR.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONSTRUCTION HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTOR'S ASSOCIATION.

MAINTENANCE NOTES:

- ALL LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO MOWING OF LAWNS, TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHLY PLANT MATERIAL. REMOVAL OF WEEDS FROM PLANTED AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS UNTIL FINAL COMPLETION.
- LANDSCAPE SHALL BE PLANTED AND MAINTAINED BY THE OWNER, SUCCESSOR, AND/OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ON PLANTING SEASON.

APPROVAL CERTIFICATE	
ENGINEERING	INITIALS/DATE
PLANNING	INITIALS/DATE
OWNER	INITIALS/DATE
LESSEE (IF APPLICABLE)	INITIALS/DATE



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

PROJECT 257483.00

ADVENTHEALTH
CASTLE PINES
CANYONSIDE
MOB

SITE IMPROVEMENT
PLAN

DATE 06/05/2026

REVISIONS

DESCRIPTION	DATE
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SHEET TITLE

LANDSCAPE
COVER SHEET

SHEET NUMBER

5 OF 16

ENTAL TREE

REEN SHRUB

OUS SHRUB

ENTAL GRASS

IALS

CANYON FORGE DRIVE

MONUMENT SIGN

NATIVE GRASS

PARKING

PARKING

ACCESS DRIVE

CASTLE PINES PARKWAY

LOT 3 PROPOSED BUILDING

NATIVE TURF

SIGHT DISTANCE TRIANGLE

NATIVE GRASS

PARKING

NATIVE GRASS

CANYON FORGE DRIVE

	PROPERTY LINE
	R.O.W
	EASEMENT
	EXISTING UTILITY - WATER LINE
	EXISTING UTILITY - SANITARY SEWER
	PROPOSED UTILITY - STORM
	PROPOSED UTILITY - SANITARY SEWER
	PROPOSED UTILITY - STORM
	PROPOSED UTILITY - WATER LINE
	LANDSCAPE EDGER
	4" CONCRETE PAVING
	MULCH - TYPE I WESTERN RED CEDAR "GORILLA HAIR"
	MULCH - TYPE II ROCK - ANGULAR COBBLE
	NATIVE GRASS - TURF BLUE GRAMA SEED MIX
	NATIVE GRASS - UPLAND SEED MIX
	BIKE RACK
	TRASH RECEPTACLE
	BENCH
	LIGHT POLE
	BOLLARD

ENGINEERING	_____ INITIALS/DATE
PLANNING	_____ INITIALS/DATE
OWNER	_____ INITIALS/DATE
LESSEE (IF APPLICABLE)	_____ INITIALS/DATE



6/2/2026 2:46:02 PM
Autodesk Docs://257483.00 AdventHealth Castle Pines MOB R25/757483.00 A-Castle Pines Canyonside MOB - Core-Shell.rvt

PLANTING LEGEND:

- DECIDUOUS SHADE TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- EVERGREEN SHRUB
- DECIDUOUS SHRUB
- ORNAMENTAL GRASS
- PERENNIALS

IRRIGATION NOTE:

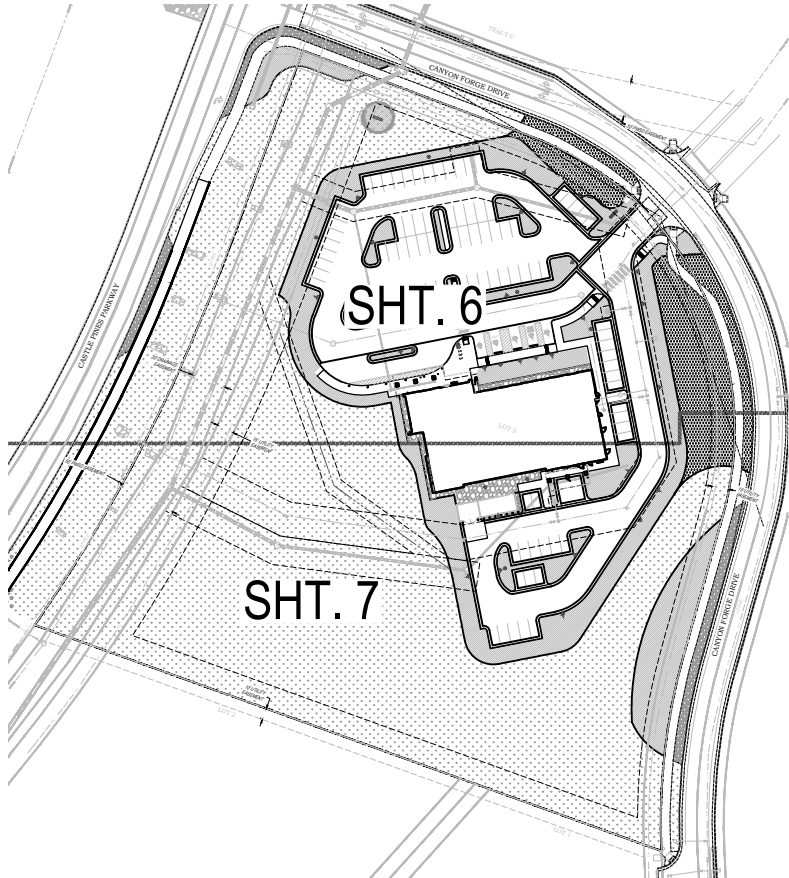
IRRIGATION FOR THE PROJECT TO BE PROVIDED BY PARKER WATER AND SANITATION DISTRICT.

CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
NW1/4 & SW1/4 Section 2, Township 7 South, Range 67 West
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LEGEND:

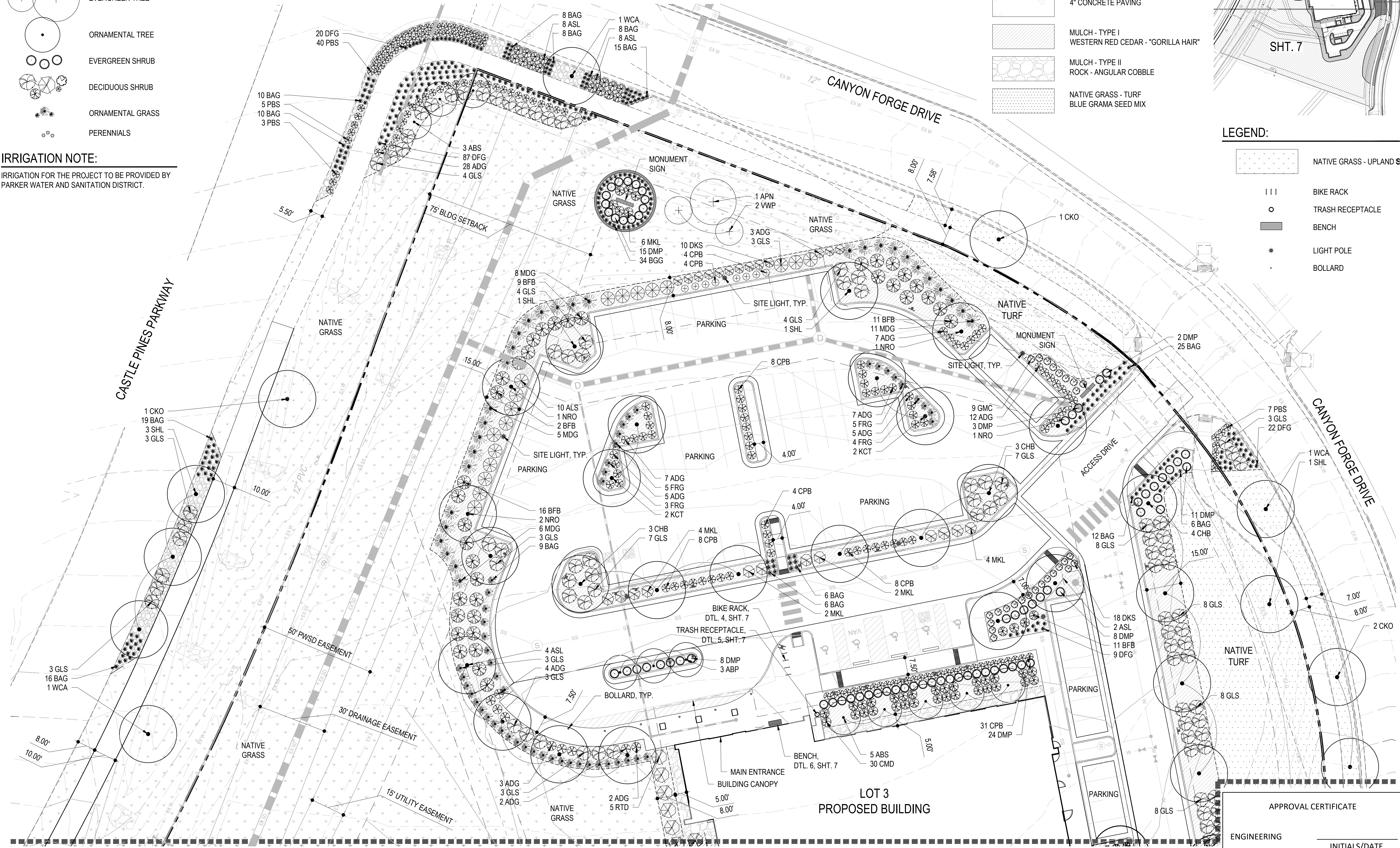
- PROPERTY LINE
- R.O.W
- EASEMENT
- LANDSCAPE EDGER
- 4" CONCRETE PAVING
- MULCH - TYPE I
WESTERN RED CEDAR - "GORILLA HAIR"
- MULCH - TYPE II
ROCK - ANGULAR COBBLE
- NATIVE GRASS - TURF
BLUE GRAMA SEED MIX

KEY PLAN:



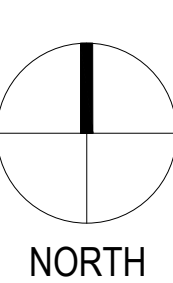
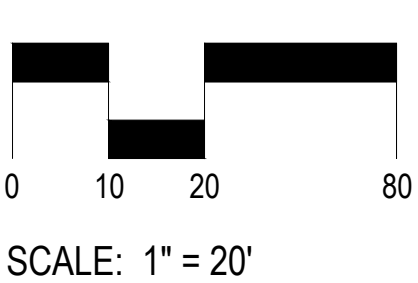
LEGEND:

- NATIVE GRASS - UPLAND S
- BIKE RACK
- TRASH RECEPTACLE
- BENCH
- LIGHT POLE
- BOLLARD



LANDSCAPE PLAN

SCALE: 1" = 20'



APPROVAL CERTIFICATE

ENGINEERING	INITIALS/DATE
PLANNING	INITIALS/DATE
OWNER	INITIALS/DATE
LESSEE (IF APPLICABLE)	INITIALS/DATE

PROJECT 257483.00

ADVENTHEALTH
CASTLE PINES
CANYONSIDE
MOB

SITE IMPROVEMENT
PLAN

DATE 06/05/2026

REVISIONS

#	DESCRIPTION	DATE
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SHEET TITLE

LANDSCAPE
PLAN

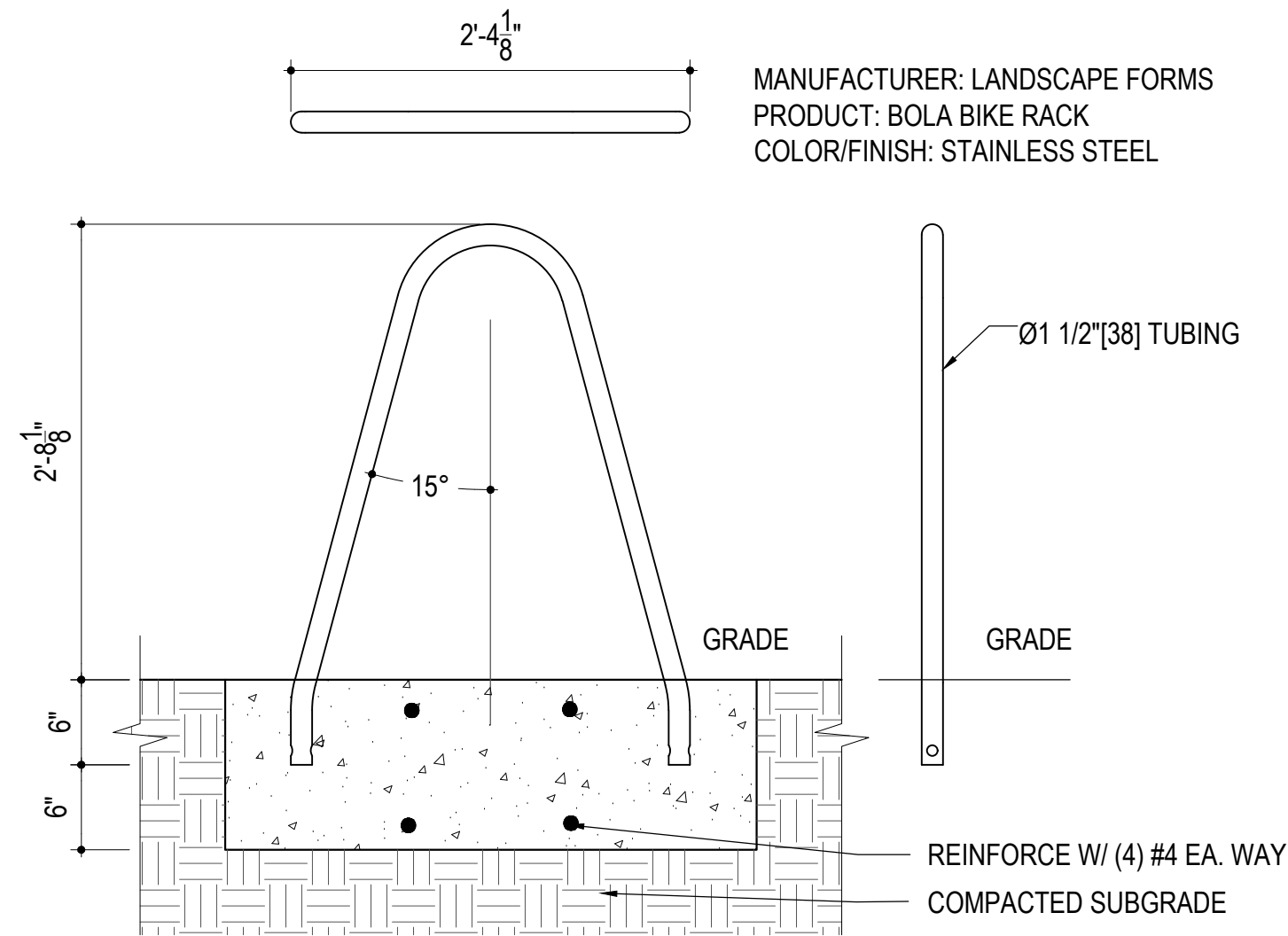
SHEET NUMBER

7 OF 16

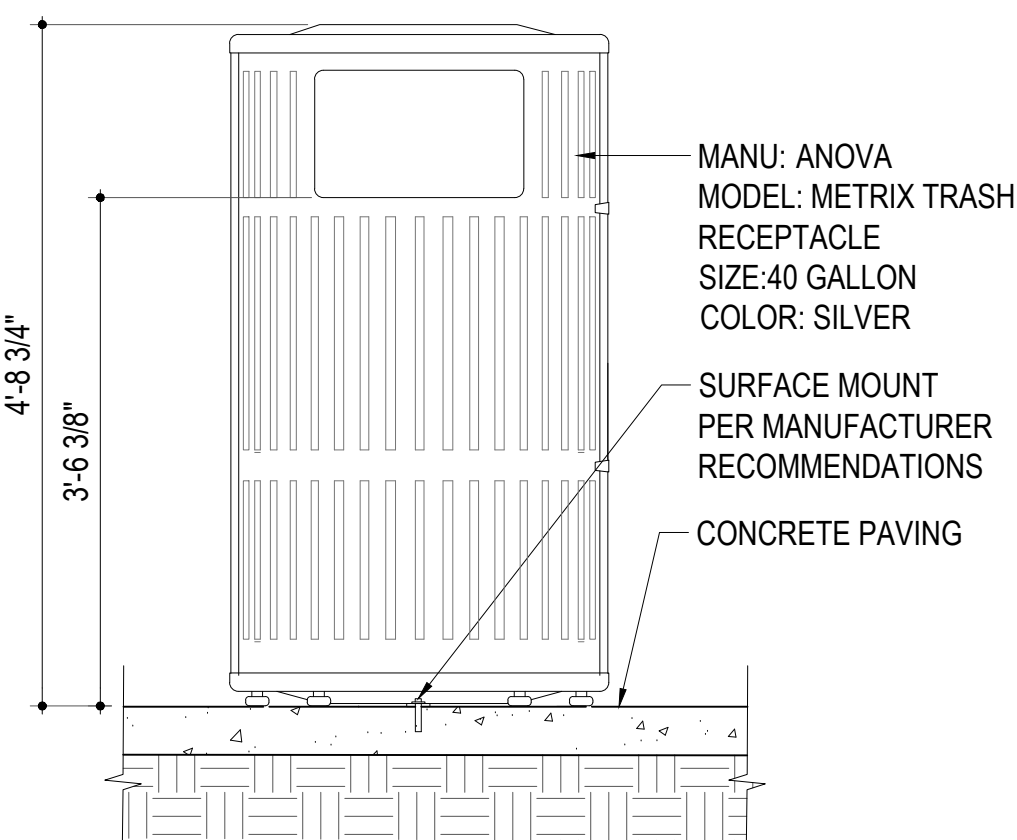


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CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
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Planning Area 3 - 5.78 Acres
Site Improvement Plan -- SIP-2026-001



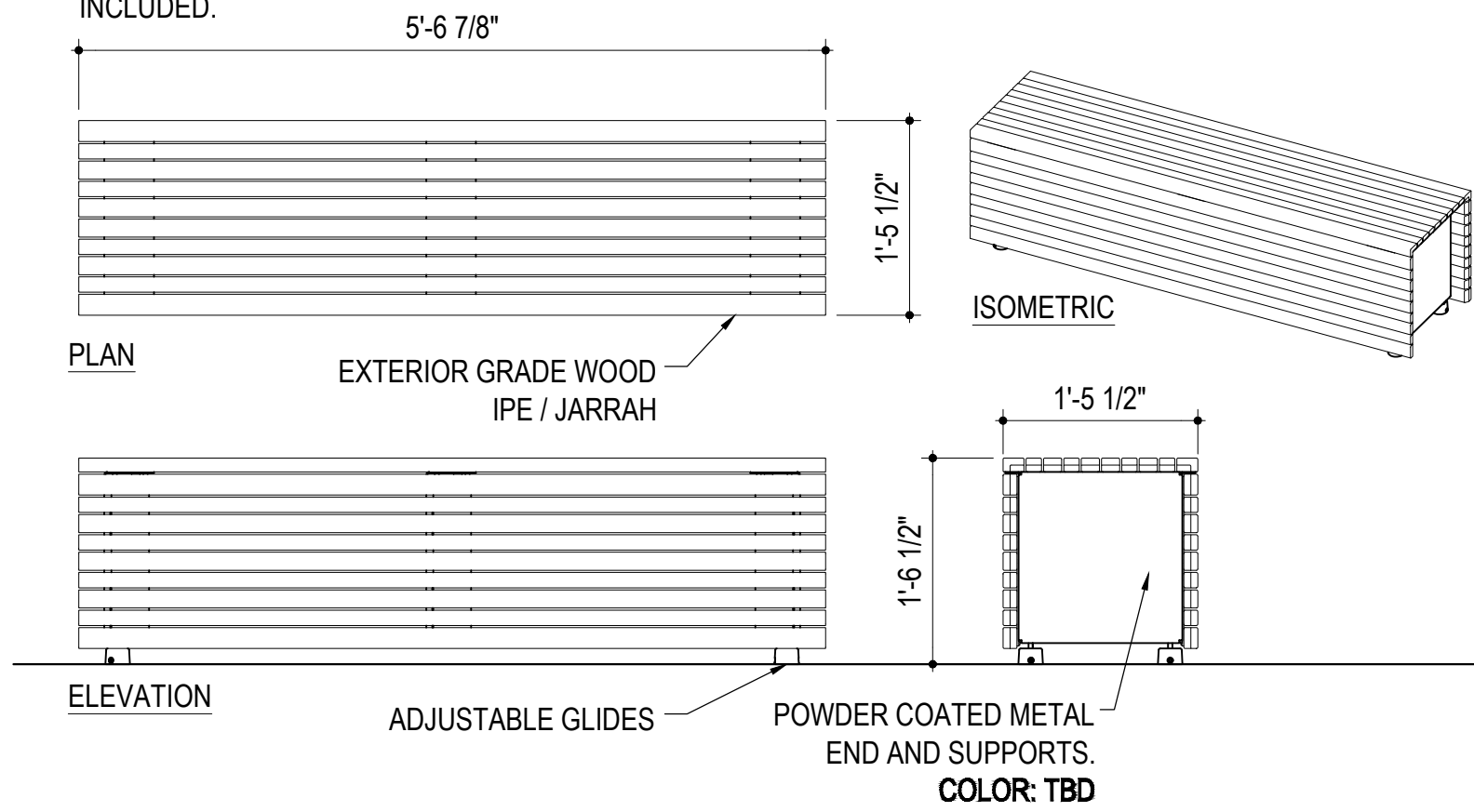
4 BIKE RACK DETAIL
SCALE: 1/2" = 1'-0"



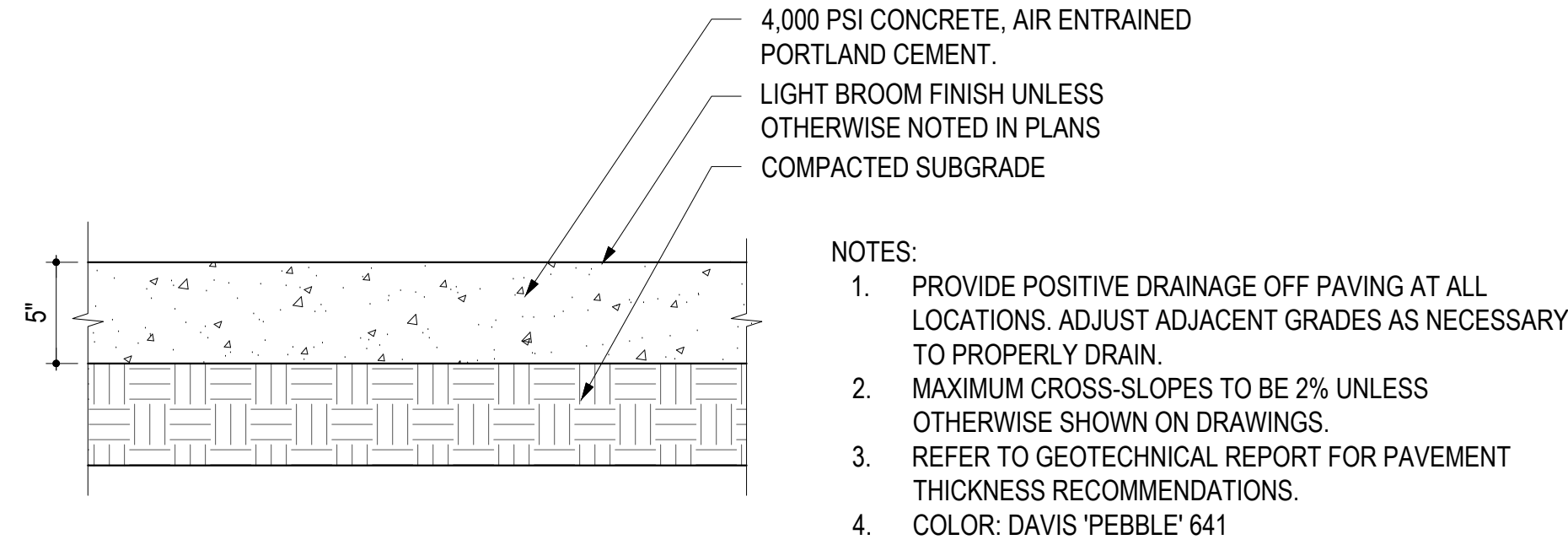
5 TRASH RECEPTACLE DETAIL
SCALE: 3/4" = 1'-0"

MANUFACTURER: LANDSCAPE FORMS
PRODUCT: PARALLEL 42 BENCH, STRAIGHT, BACKLESS
FINISH: POWDER COAT
COLOR: BLUE ASH COLOR

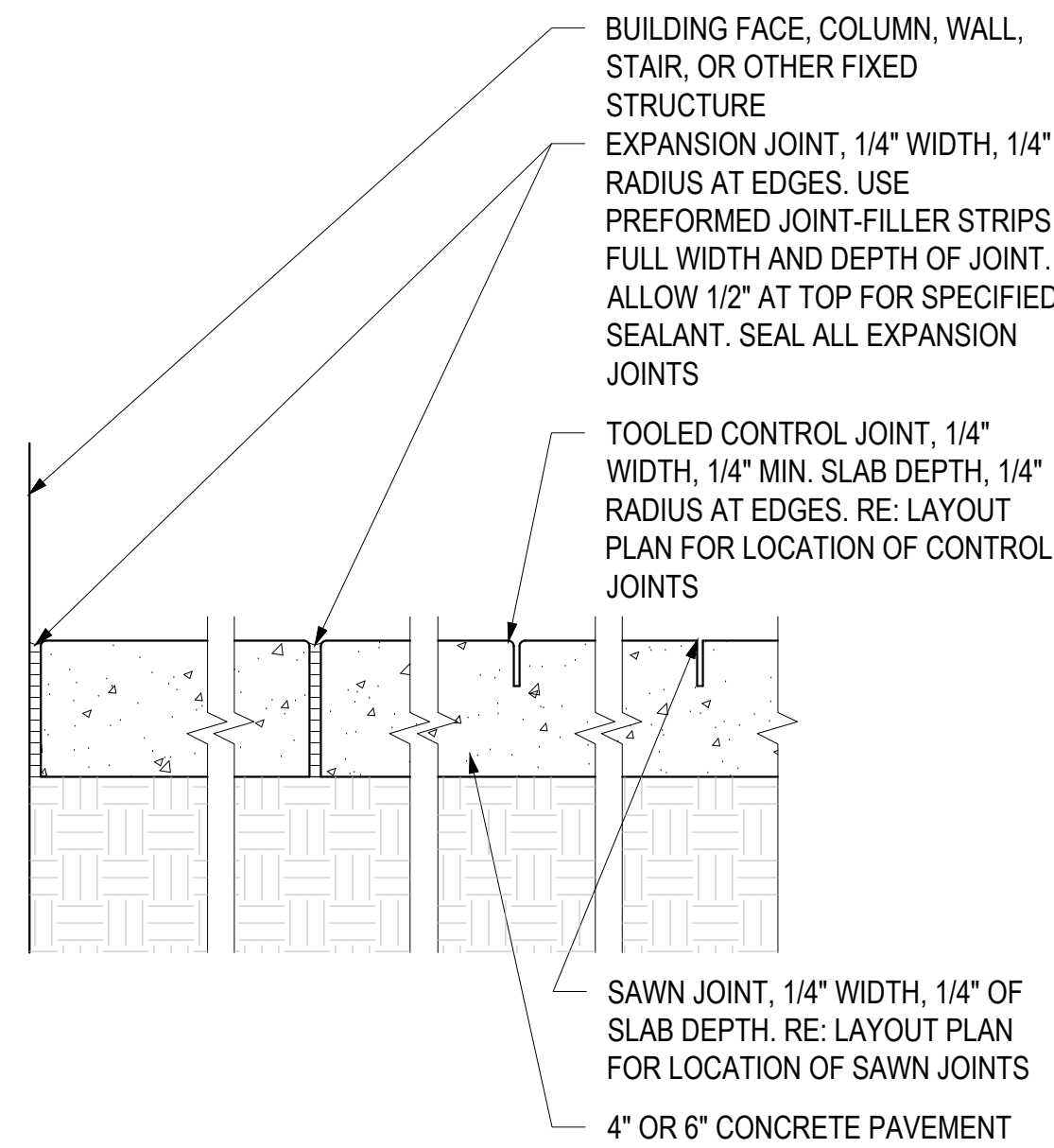
*INCLUDES (2) STAINLESS STEEL 3/8-16 DROP-IN ANCHORS AND MOUNTING BLOCKS FOR OPTIONAL SURFACE MOUNTING. ANCHORING HARDWARE INCLUDED.



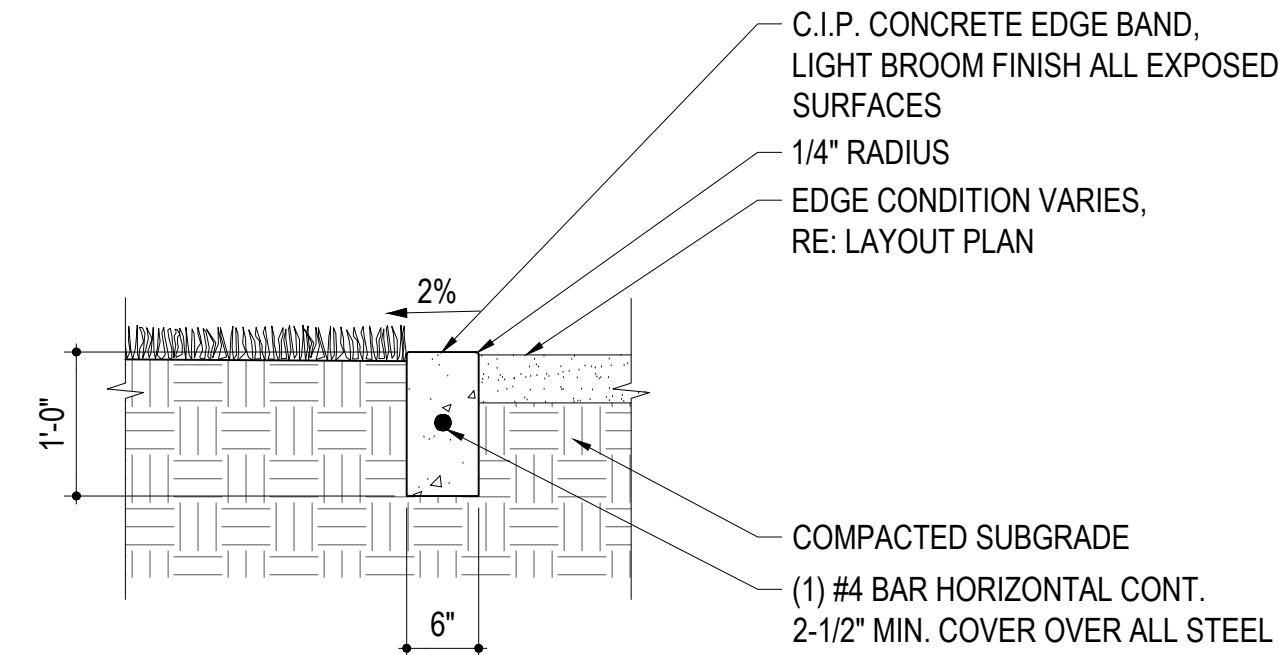
6 BENCH DETAIL
SCALE: 3/4" = 1'-0"



1 CONCRETE PAVING DETAIL
SCALE: 1 1/2" = 1'-0"



2 CONCRETE JOINTING DETAIL
SCALE: 1 1/2" = 1'-0"



3 CONCRETE BAND DETAIL
SCALE: 3/4" = 1'-0"

APPROVAL CERTIFICATE

ENGINEERING	INITIALS/DATE
PLANNING	INITIALS/DATE
OWNER	INITIALS/DATE
LESSEE (IF APPLICABLE)	INITIALS/DATE

SHEET TITLE

**SITE
DETAILS**

SHEET NUMBER

9 OF 16

PROJECT 257483.00

**ADVENTHEALTH
CASTLE PINES
CANYONSIDE
MOB**

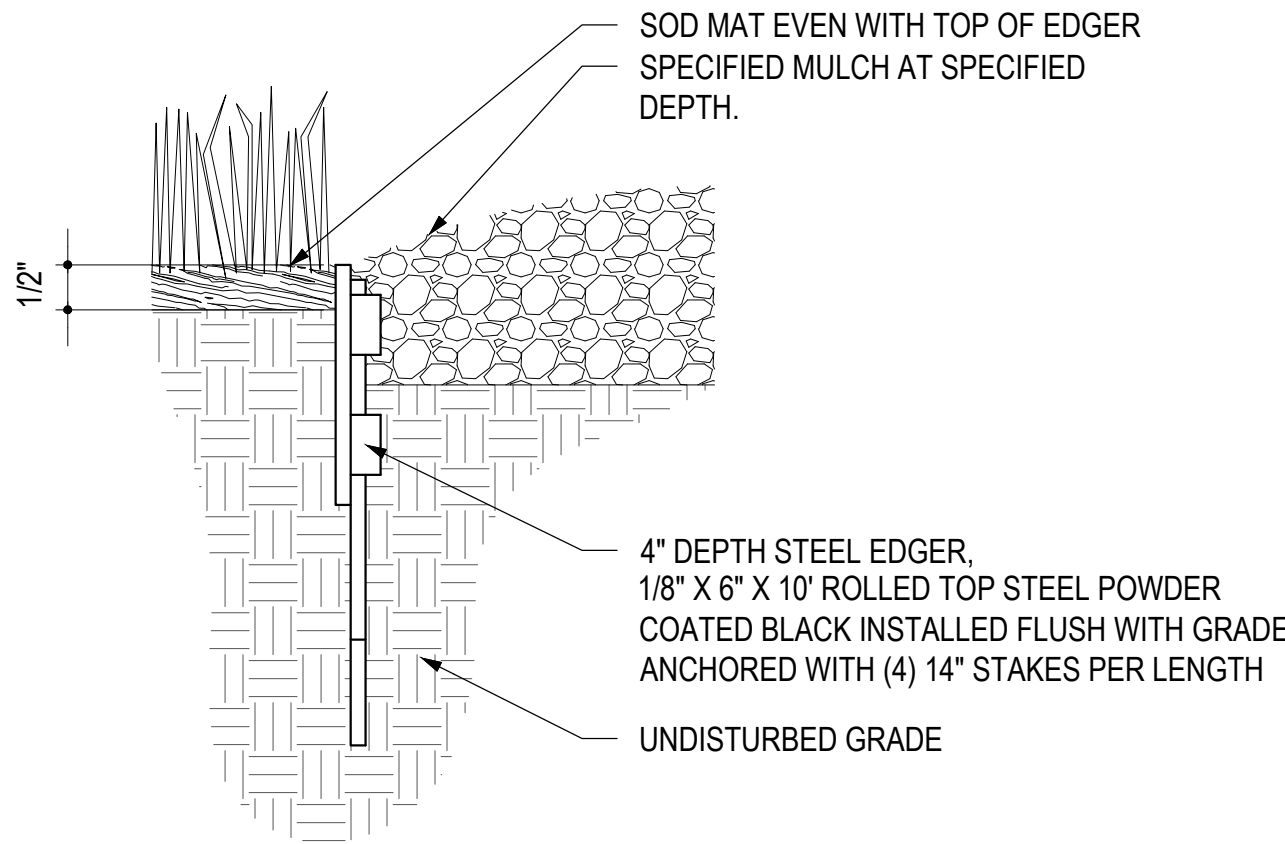
**SITE IMPROVEMENT
PLAN**

DATE 06/05/2026

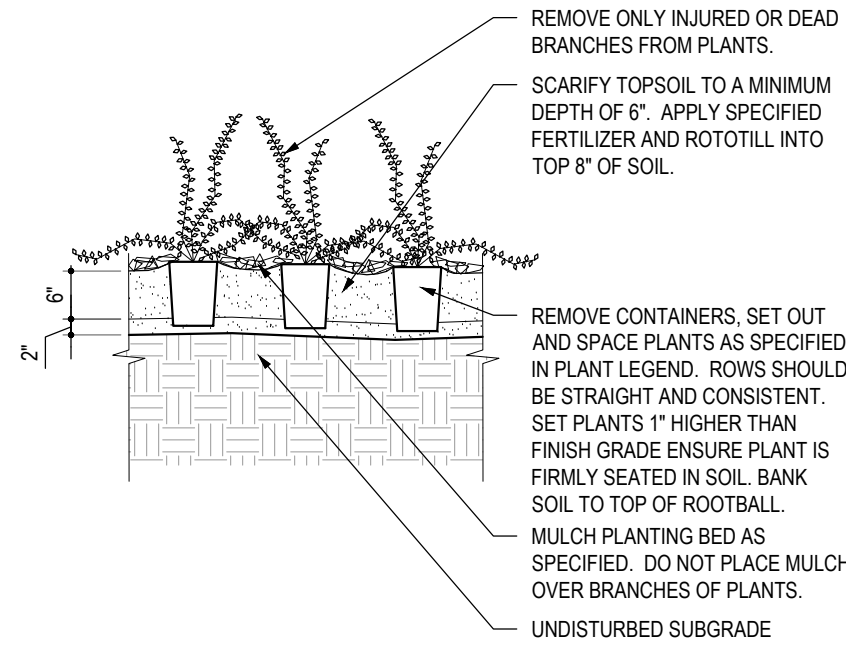
REVISIONS

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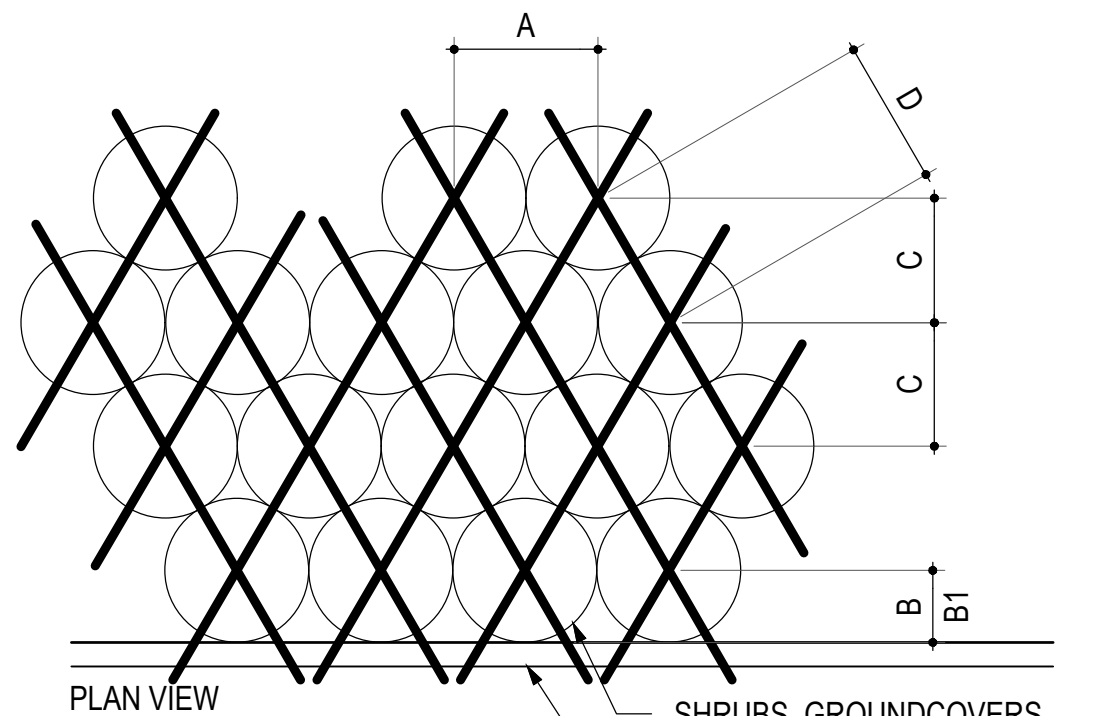
CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
NW1/4 & SW1/4 Section 2, Township 7 South, Range 67 West
Planning Area 3 - 5.78 Acres
Site Improvement Plan -- SIP-2026-001



5 STEEL EDGER DETAIL
SCALE: 3/4" = 1'-0"



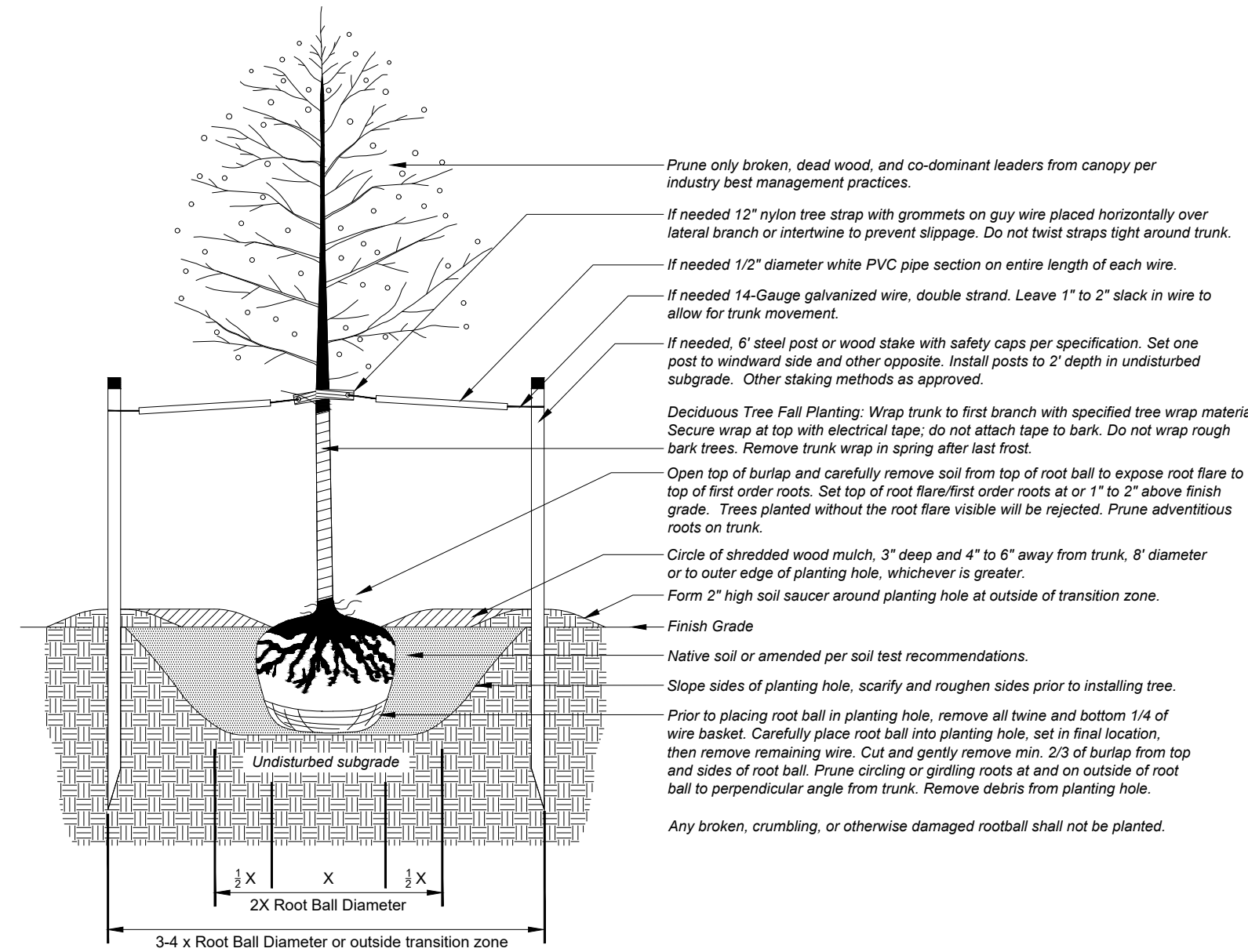
3 GROUNDCOVER DETAIL
SCALE: 3/4" = 1'-0"



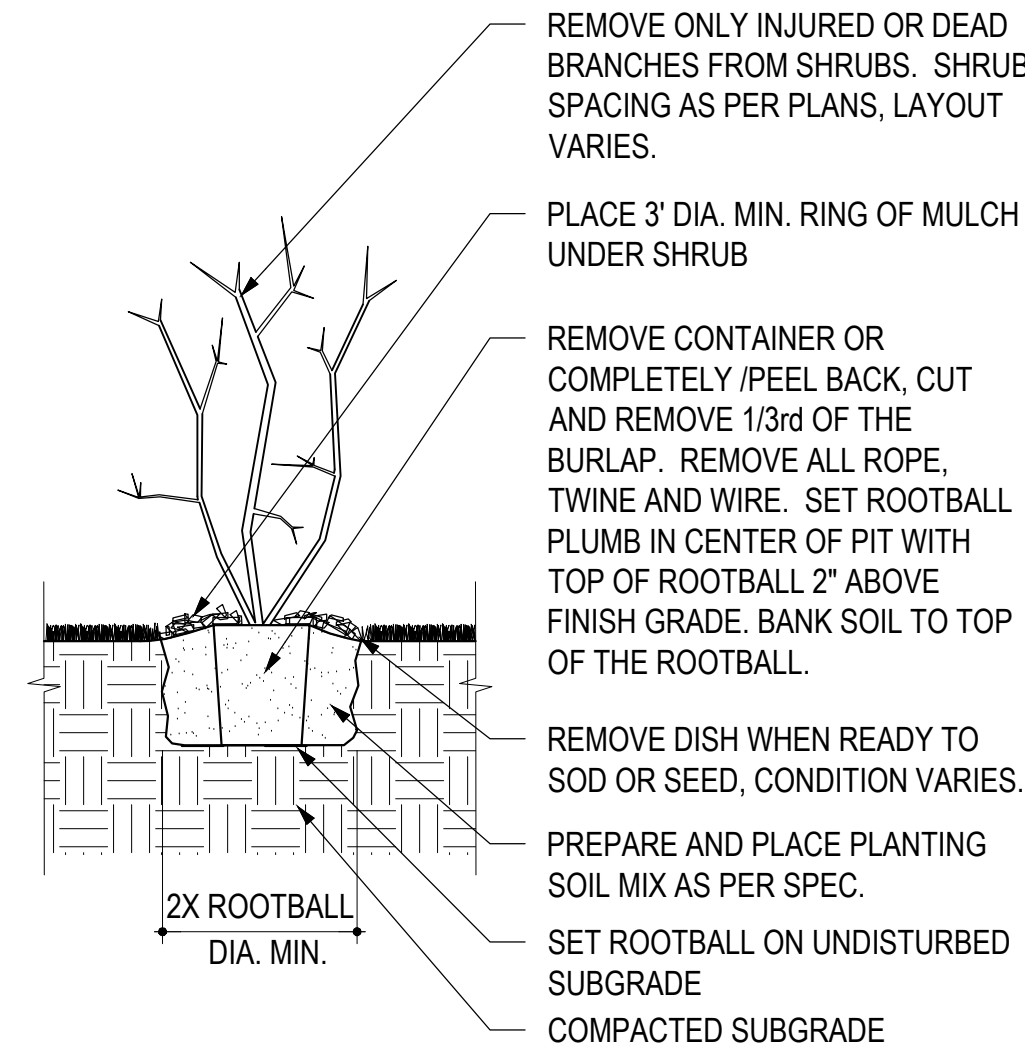
SHRUBS ONLY

PLANT SPACING	A	B	B1	C	D
6"	6"	6"	6"	5"	6"
8"	8"	6"	8"	7"	8"
12"	12"	6"	12"	10"	12"
18"	18"	8"	18"	15"	18"
24"	24"	18"	24"	20"	24"
30"	30"	18"	30"	26"	30"
36"	36"	24"	36"	31"	36"
48"	48"	24"	48"	41"	48"

4 PLANT SPACING DETAIL
SCALE: 3/4" = 1'-0"



1 TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"



2 SHRUB PLANTING DETAIL
SCALE: 1/2" = 1'-0"

Attachments

Preliminary or Final Plat: *
[Choose File](#) No file chosen

Lighting Plans: *
[Choose File](#) No file chosen

Grading Plans: *
[Choose File](#) No file chosen

Utility Plans: *
[Choose File](#) No file chosen

CAD Site Plans: *
[Choose File](#) No file chosen

[CAD Site Plans](#)



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

PROJECT 257483.00

ADVENTHEALTH
CASTLE PINES
CANYONSIDE
MOB

SITE IMPROVEMENT
PLAN

DATE 06/05/2026

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OWNER	_____ INITIALS/DATE
LESSEE (IF APPLICABLE)	_____ INITIALS/DATE

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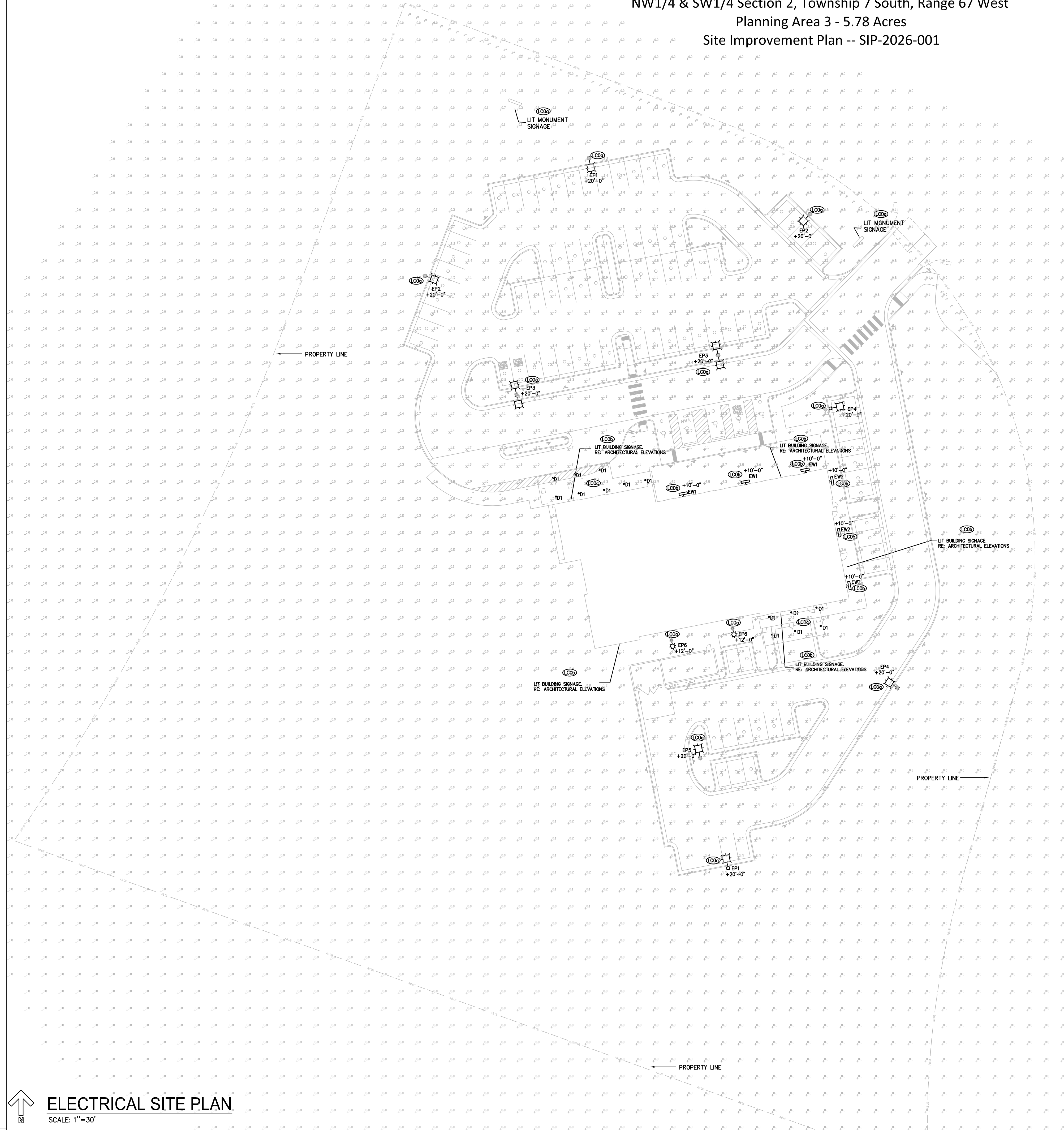
PLANTING
DETAILS

SHEET NUMBER

10 OF 16

FILENAME: P:\AdventHealth\2025-433 Canyonside MOB\Elec\p-estate.dwg LAYOUT: E-100 REVISED: 6/4/2026 11:43 PLOTTED: 6/4/2026 11:44:10 USER: Jacqueline Erickson THIS LINE IS INCLUDING WHEN PRINTED TO PLOT

CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
NW1/4 & SW1/4 Section 2, Township 7 South, Range 67 West
Planning Area 3 - 5.78 Acres
Site Improvement Plan -- SIP-2026-001



NARRATIVE

THE DESIGN OF THE PROPOSED LIGHTING INCLUDES FULL CUT-OFF LED LIGHT FIXTURES (POLE MOUNTED LIGHTS, BUILDING MOUNTED LIGHTS, AND RECESSED CAN LIGHTS IN THE CANOPIES) THAT PROVIDE ADEQUATE LIGHT LEVELS THAT COMPLY WITH THE REQUIREMENTS OF THE CITY OF CASTLE PINES REQUIREMENTS AS WELL AS PROVIDING NECESSARY SITE SECURITY LIGHTING AND VISUAL COMFORT. THE LIGHTS ON-SITE ARE LOCATED IN THE PARKING LOTS, SURFACE MOUNTED ON THE BUILDING, OR ARE MOUNTED RECESSED IN THE CANOPIES FLUSH WITH THE BOTTOM OF THE CANOPY. THE MOUNTING HEIGHTS CAN BE SEEN IN THE LUMINAIRE SCHEDULE AND DO NOT EXCEED CASTLE PINES MAXIMUM HEIGHT REQUIREMENTS. THE LUMINAIRE LEVELS ARE LOCATED IN THE STATISTICS TABLE ON THE PLAN AND DO NOT EXCEED CASTLE PINES MAXIMUM VALUES WHILE PROVIDING APPROPRIATE LIGHT LEVELS WITH MINIMAL SPILLAGE ACROSS THE PROPERTY LINE. ANY SPILLAGE ACROSS THE PROPERTY LINE DOES NOT EXCEED 1FC AS SEEN ON THE NORTHEAST SIDE OF THE PLAN. ON ALL OTHER SIDES OF THE PLAN, THERE IS NO SPILLAGE OVER THE PROPERTY LINE. NO FIXTURE IS LOCATED WITHIN 15' OF RESIDENTIAL PROPERTIES. HOUSE-SIDE SHIELD SHALL BE PROVIDED ON FIXTURES THAT ARE NEAR THE PROPERTY LINE. THE SIGNAGE ON-SITE IS INTERNALLY LIT AND WILL BE LIMITED TO A MAXIMUM OF 1,000 NITS. ALL LIT FIXTURES ON-SITE ARE PHOTOCELL CONTROLLED AND SHALL BE DIMMED TO 30% ONE HOUR AFTER CLOSE OF BUSINESS TO ONE OUR PRIOR TO OPENING. MOTION SENSORS SHALL BE PROVIDED FOR LIGHTS AT CANOPIES AND ANY ENTRANCE DOOR FOR SECURITY LIGHTING.

LUMINAIRE SCHEDULE

GENERAL NOTES:

A. CATALOG NUMBER REFERS TO FIRST NAME LISTED UNDER MANUFACTURER PER LUMINAIRE TYPE. REMAINING MANUFACTURERS LISTED ARE CONSIDERED EQUIVALENT PRODUCTS FOR THE PROJECT AND SHALL MEET ALL CRITERIA LISTED INCLUDING THAT CALLED FOR BY THE SPECIFIC LUMINAIRE CATALOG NUMBER. CATALOG NUMBERS DO NOT NECESSARILY REPRESENT COMPLETE CATALOG NUMBERS. ALL ITEMS LISTED IN THE DESCRIPTION SHALL BE PROVIDED.

NOTE: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR CONDUCTING FINAL INSPECTIONS, THE CITY OF CASTLE PINES SHALL CONDUCT AN EVENING SITE VISIT TO ENSURE ILLUMINATION LEVELS GENERATED BY THE LIGHTING MEET ALL CITY CRITERIA AS WELL AS THOSE INDICATED ON THE APPROVED SITE IMPROVEMENT PLAN. DO NOT CREATE DISABILITY GLARE ON ADJACENT PROPERTIES AND THAT ALL FIXTURES ARE FULL CUTOFF AS DEFINED BY THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. IN THE EVENT LIGHTING LEVELS DO NOT MEET THESE CRITERIA, REMEDIAL ACTION MAY INCLUDE RE-LAMPING WITH LOWER WATTAGE BULBS, RELOCATING FIXTURES, SHIELDING FIXTURES, REMOVING FIXTURES, OR REPLACING FIXTURES. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO ENSURE ALL SITE LIGHTING COMPLIES WITH LIGHTING STANDARDS SECTION OF THE CITY OF CASTLE PINES ZONING ORDINANCE PRIOR TO REQUESTING ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND/OR FINAL INSPECTIONS.

QTY	TYPE	DESCRIPTION	LAMP		BALLAST/DRIVER			LIGHT LOSS FACTOR	APPARENT LOAD	MANUFACTURER	CATALOG SERIES	FINISH	MOUNTING	NOTES
			COLOR	LUMENS	TYPE	DIM LEVEL	VOLTAGE							
14	D1	4" RECESSED LED DOWNLIGHT, EXTERIOR RATED, CLEAR, MATT, DIFFUSED REFLECTOR	3000K 70CRI	600	0-10V	1%	277	1.00	9	LITHONIA	LDN4	BLACK	RECESSED WITHIN CANOPY	
2	EP1	POLE MOUNTED LED LUMINAIRE, SINGLE HEAD, P4 OPTIC, TYPE 3 BACKLIGHT CONTROL, HOUSE-SIDE SHIELD, PROVIDE WITH A 17' POLE, 3" CONCRETE BASE	3000K 70CRI	13,341	0-10V	1%	277	1.00	124	LITHONIA	DSX1	BLACK	17" POLE 3" CONCRETE BASE (MOUNTED AT +20')	
2	EP2	POLE MOUNTED LED LUMINAIRE, P4 OPTIC, SINGLE HEAD, TYPE 3 BACKLIGHT CONTROL, HOUSE-SIDE SHIELD, PROVIDE WITH A 17' POLE, 3" CONCRETE BASE	3000K 70CRI	11,557	0-10V	1%	277	1.00	124	LITHONIA	DSX1	BLACK	17" POLE 3" CONCRETE BASE (MOUNTED AT +20')	
2	EP3	POLE MOUNTED LED LUMINAIRE, P4 OPTIC, DOUBLE HEAD, TYPE 4 MEDIUM DISTRIBUTION, PROVIDE WITH A 17' POLE, 3" CONCRETE BASE	3000K 70CRI	15,613	0-10V	1%	277	1.00	248	LITHONIA	DSX1	BLACK	17" POLE 3" CONCRETE BASE (MOUNTED AT +20')	
2	EP4	POLE MOUNTED LED LUMINAIRE, P4 OPTIC, SINGLE HEAD, TYPE 3 MEDIUM WITH HOUSE-SIDE SHIELD, PROVIDE WITH A 17' POLE, 3" CONCRETE BASE	3000K 70CRI	13,334	0-10V	1%	277	1.00	124	LITHONIA	DSX1	BLACK	17" POLE 3" CONCRETE BASE (MOUNTED AT +20')	
1	EP5	POLE MOUNTED LED LUMINAIRE, P4 OPTIC, SINGLE HEAD, TYPE 4 MEDIUM DISTRIBUTION, PROVIDE WITH A 17' POLE, 3" CONCRETE BASE	3000K 70CRI	15,613	0-10V	1%	277	1.00	123	LITHONIA	DSX1	BLACK	17" POLE 3" CONCRETE BASE (MOUNTED AT +20')	
2	EP6	PEDESTRIAN POLE MOUNTED LED LUMINAIRE, P3 OPTIC, SINGLE HEAD, TYPE 3 MEDIUM, PROVIDE WITH A 12' POLE	3000K 70CRI	8,439	0-10V	1%	277	1.00	69	LITHONIA	DSX0	BLACK	12" POLE	
3	EW1	11.5" X 9" TALL LED BUILDING WALL MOUNTED FIXTURE, P3 OPTIC, TYPE 2 MEDIUM DISTRIBUTION	3000K 70CRI	3,368	0-10V	1%	277	1.00	32	LITHONIA	WDGE2	BLACK	+10'-0" ON BUILDING SURFACE	
3	EW2	11.5" X 9" TALL LED BUILDING WALL MOUNTED FIXTURE, P3 OPTIC, TYPE 4 MEDIUM DISTRIBUTION	3000K 70CRI	3,327	0-10V	1%	277	1.00	32	LITHONIA	WDGE2	BLACK	+10'-0" ON BUILDING SURFACE	

LIGHTING CONTROL MATRIX

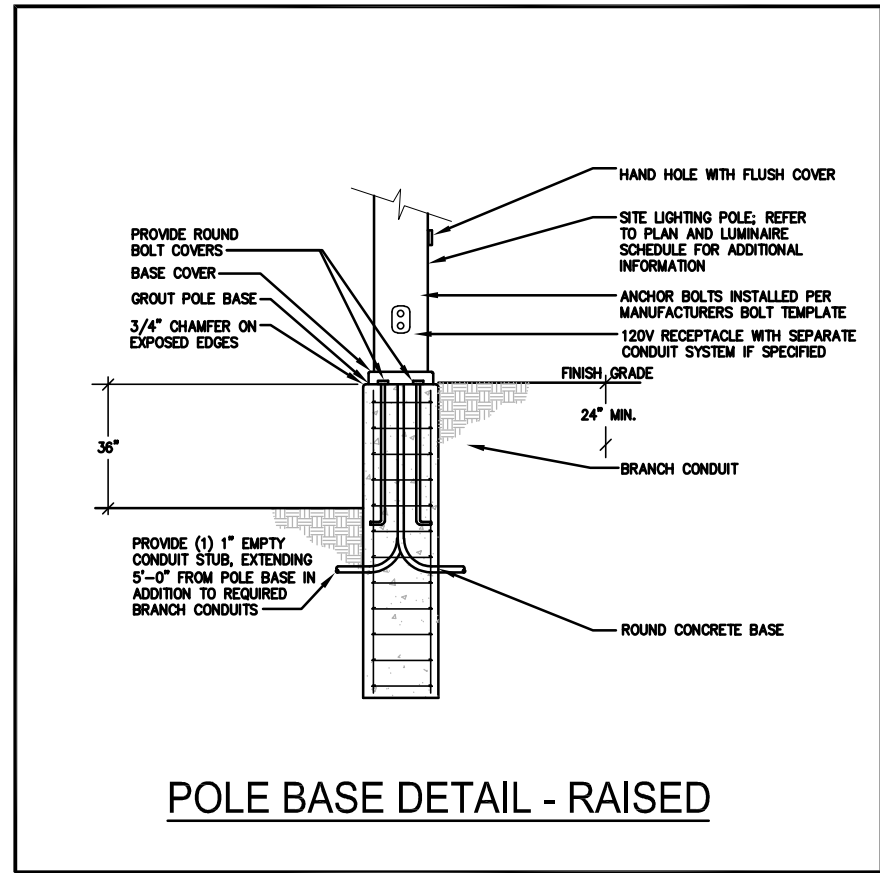
SPECIFIC NOTES:

- Light levels will be reduced to 30% one hour after close of business to one-hour prior to opening.
- Photocell control with light reduction from 1 hour after close to 1 hour after opening.
- Control system type = programmable and adjustable.
- Building mounted lights at canopies and building entrances shall be provided with motion control sensors.

KEY:

On / Off: M = Manual (switch), A = Automatic (sensor), T = Time schedule, P = Exterior Photocell
Control: 0-10V Dimming
Occ / Vac: DT = Dual Technology
Daylight: Calibrate bottom limit of daylight sensor to denoted footcandle level at height listed

Type	Space	On	Off	Control	Occupancy / Vacancy Sensor			Daylight Sensor		Remarks
					Tech	Mount	Delay	Target Level	Measured Height	
LC0a	Exterior - Site Poles (and Signage)	T/P	T/P	0-10V				1 FC	0'	1,2,3
LC0b	Exterior - Building-Mounted	T/P	T/P	0-10V	DT		10 MIN	1FC	0'	1,2,3,4
LC0c	Exterior - Canopy Mounted	P/A	P/A	0-10V	DT		10 MIN			1,3,4



- LEGEND:
- NO SCALE
- POLE LIGHTS
- DOWNLIGHTS
- BUILDING MOUNTED LIGHT

APPROVAL CERTIFICATE

ENGINEERING _____ INITIALS/DATE _____

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BOULDER ASSOCIATES

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ADVENTHEALTH
CASTLE PINES

SITE IMPROVEMENT
PLAN

DATE 06/05/2026

REVISIONS

DESCRIPTION DATE

SHEET TITLE

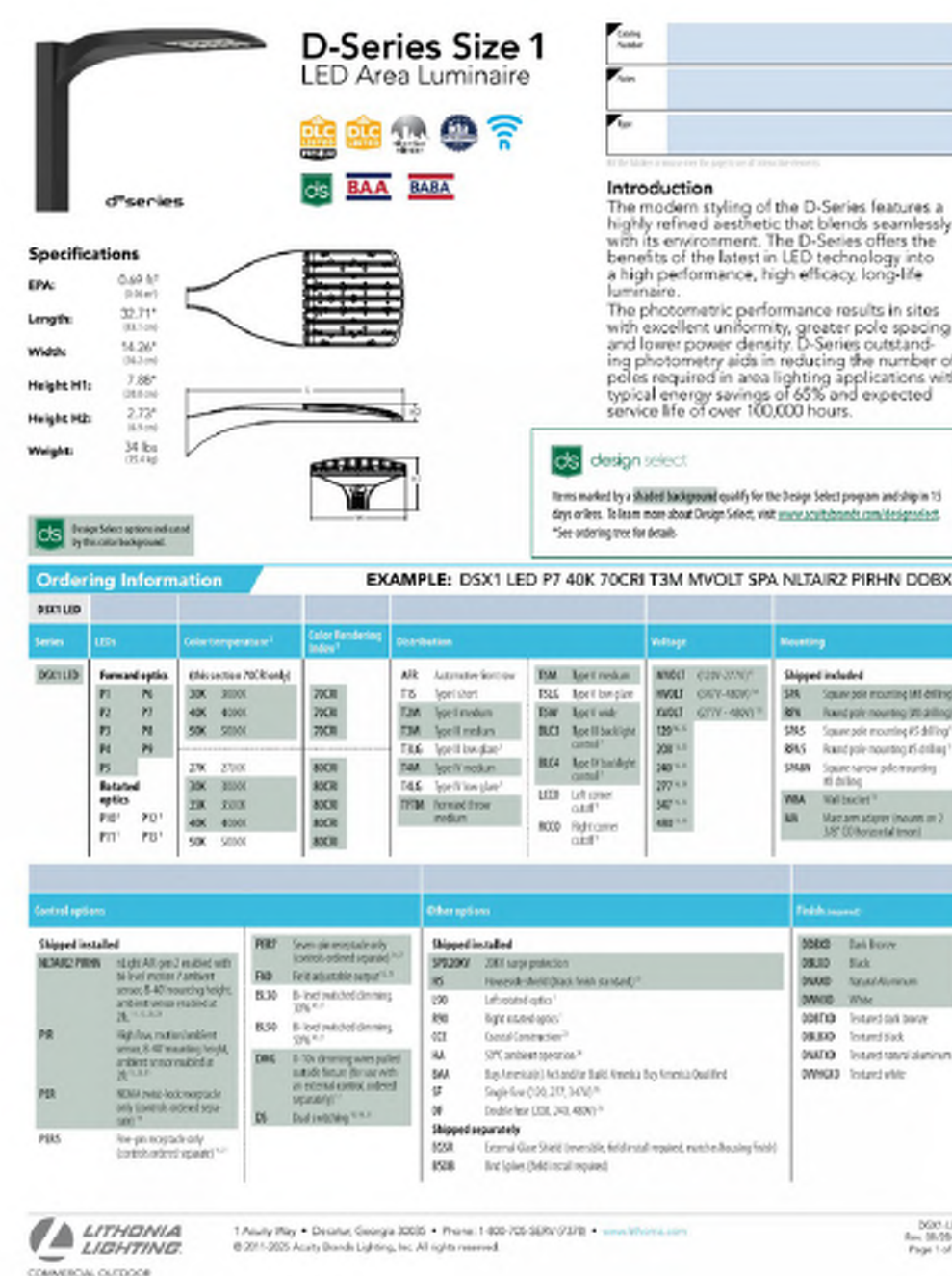
PHOTOMETRIC PLAN

SHEET NUMBER

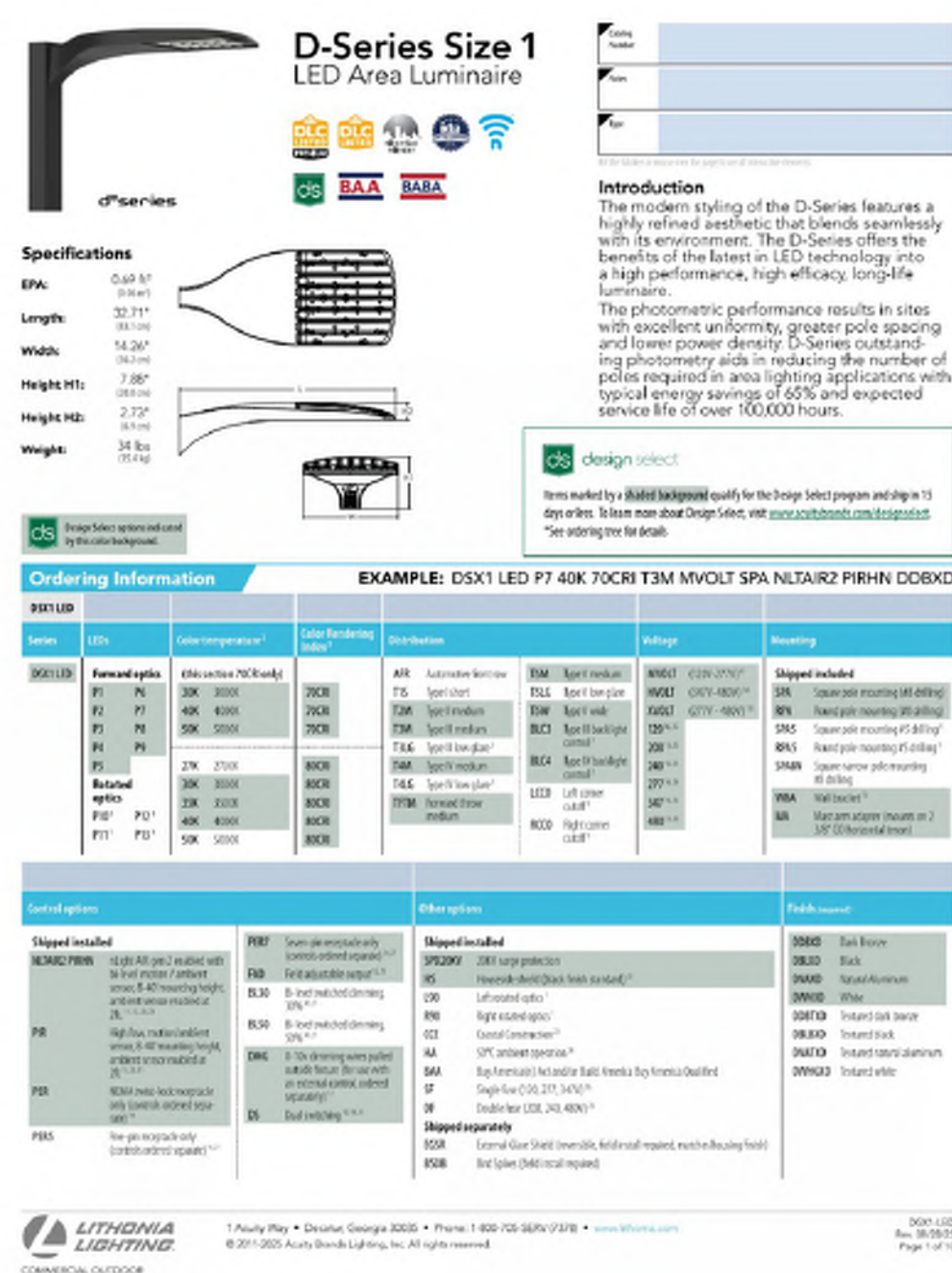
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CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
NW1/4 & SW1/4 Section 2, Township 7 South, Range 67 West
Planning Area 3 - 5.78 Acres
Site Improvement Plan -- SIP-2026-001

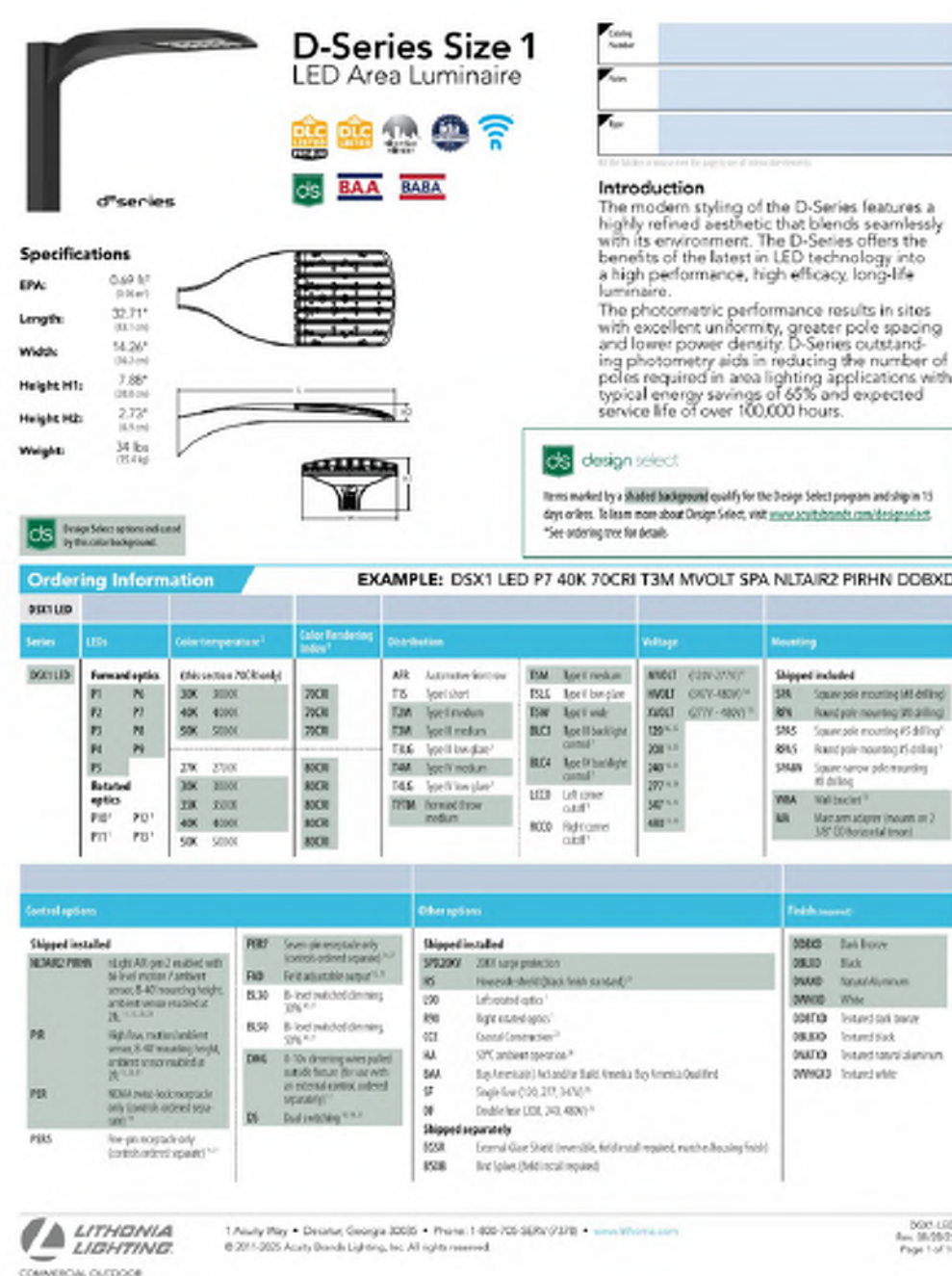
LUMINAIRE TYPE "EP1"



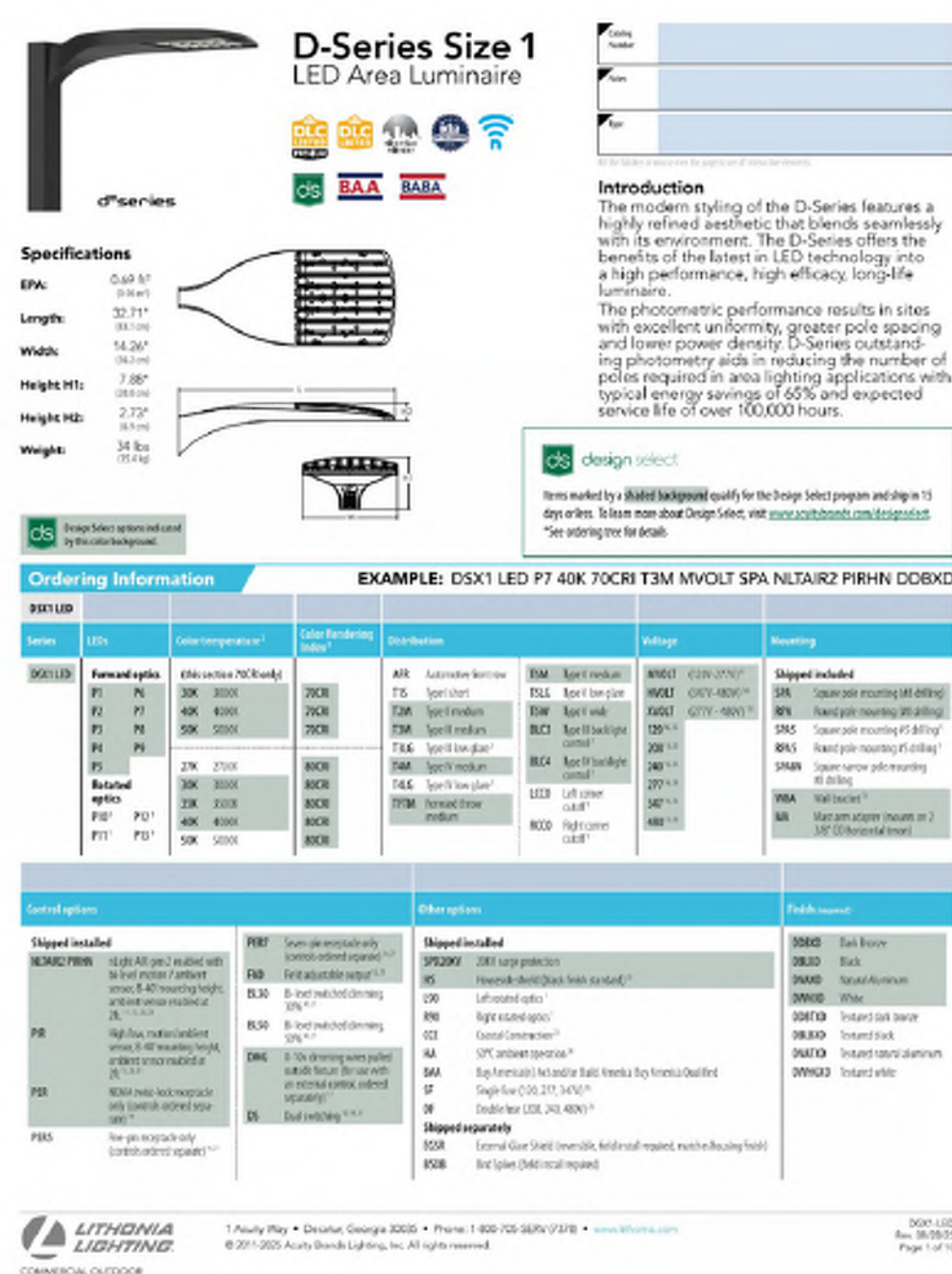
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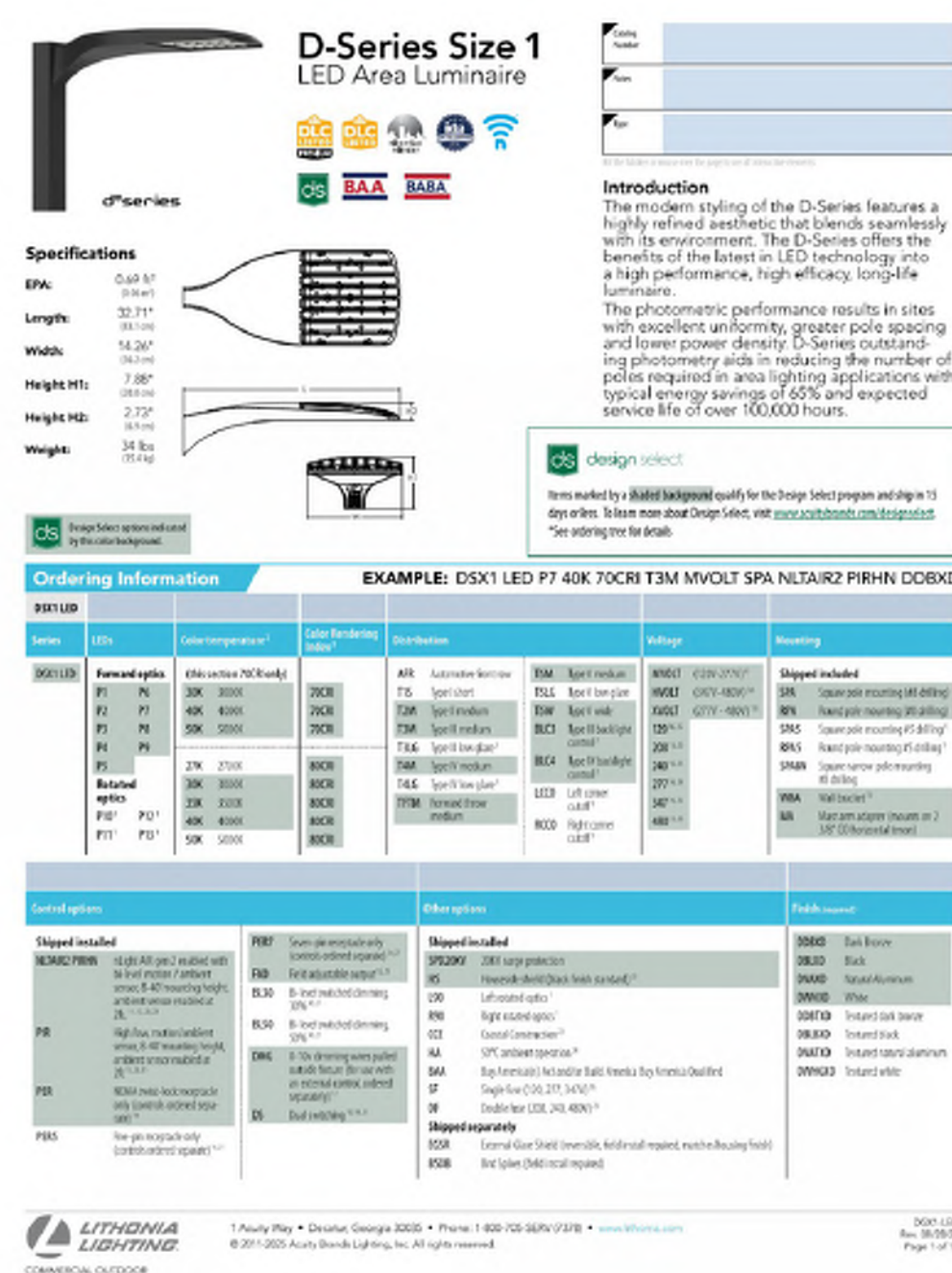
LUMINAIRE TYPE "EP3" (DOUBLE-HEAD)



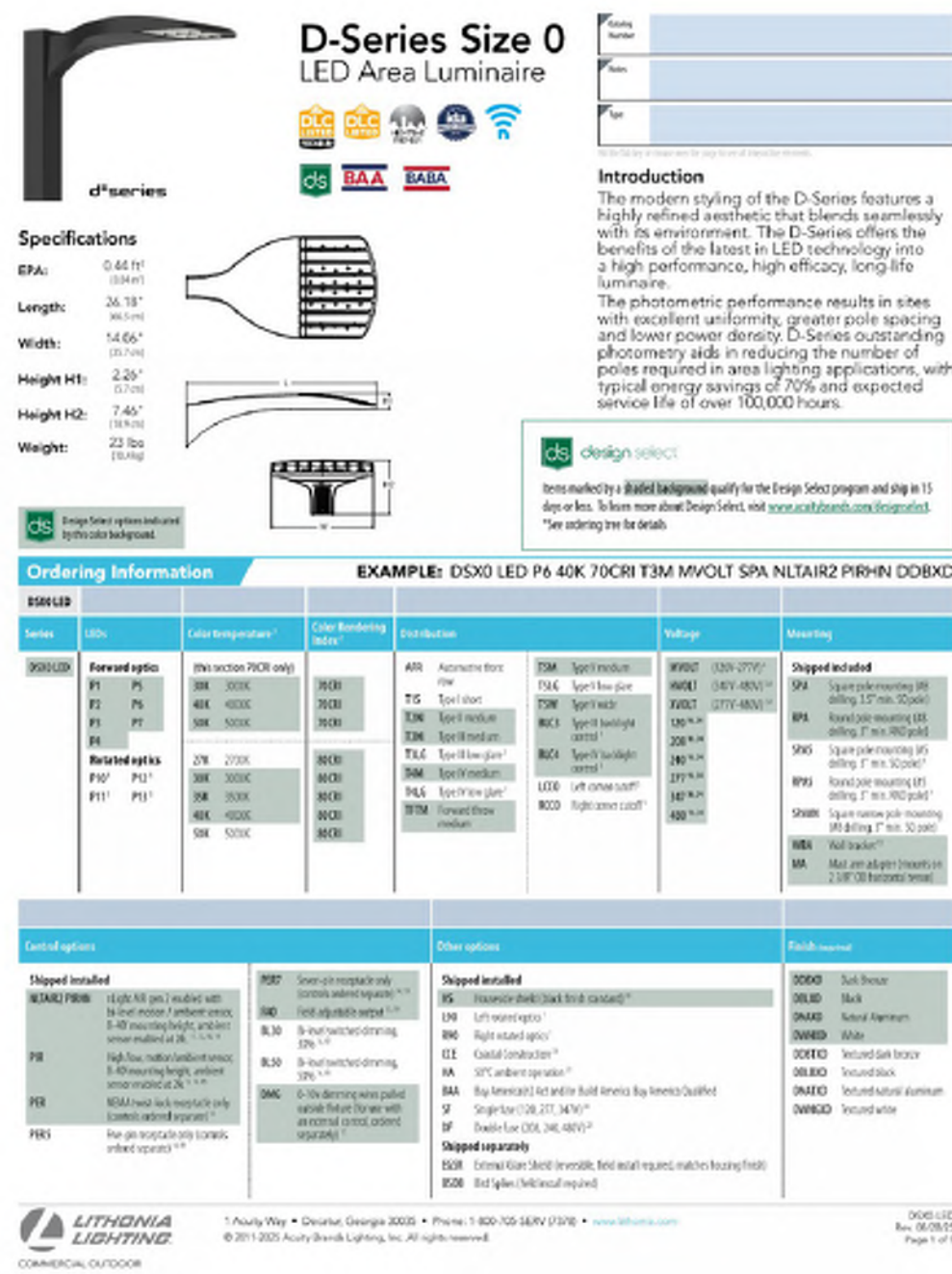
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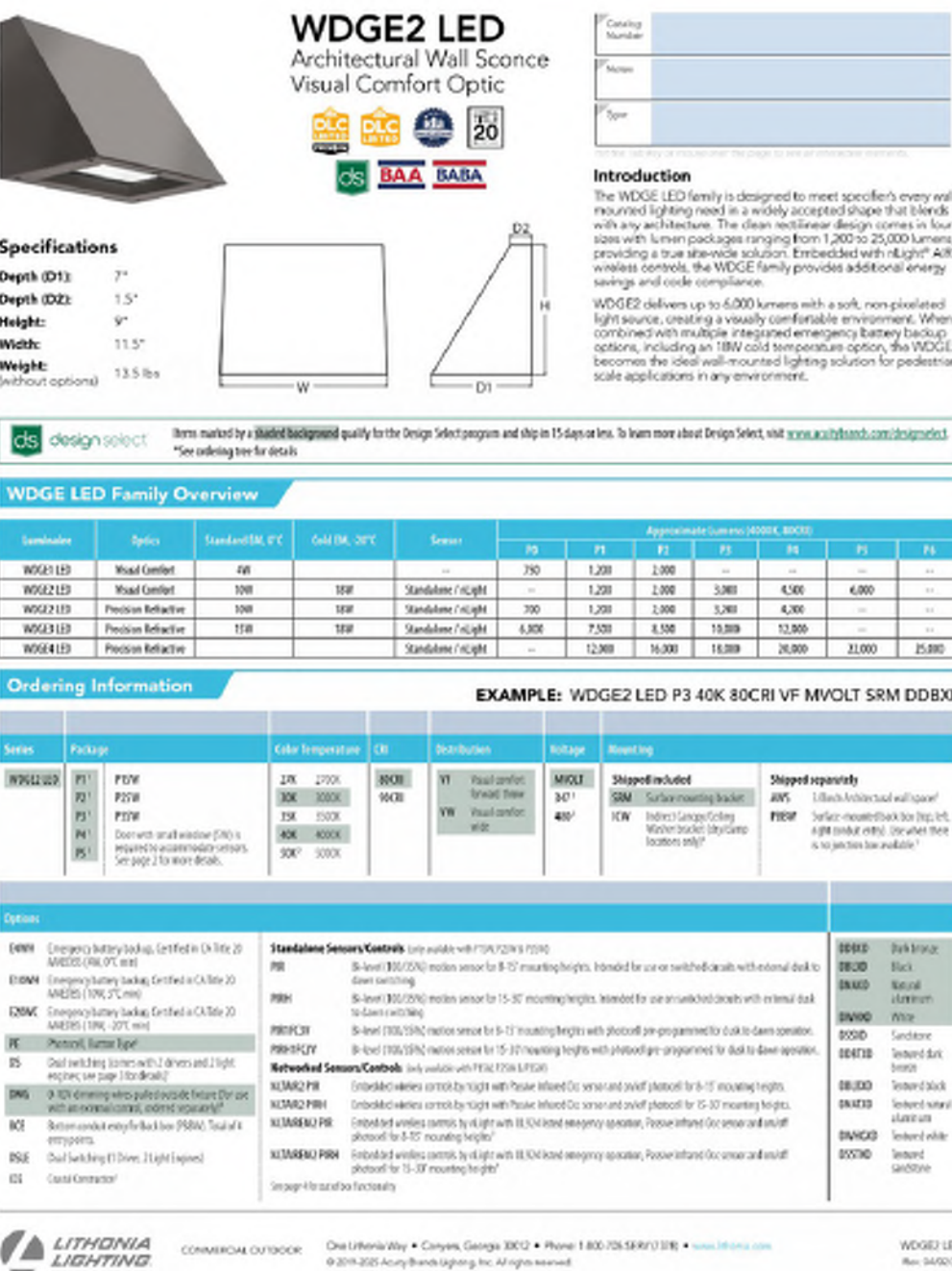
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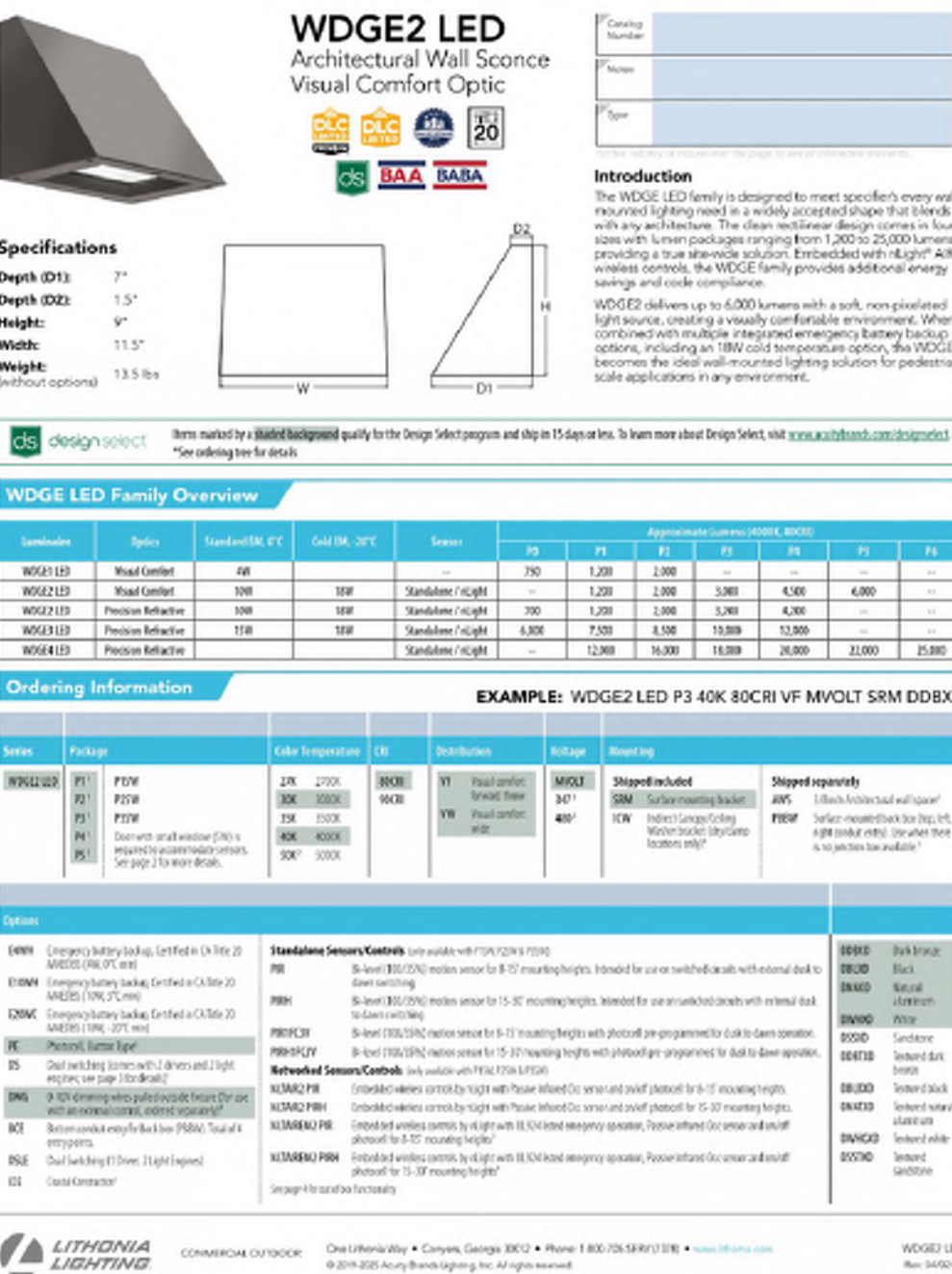
LUMINAIRE TYPE "EP6"



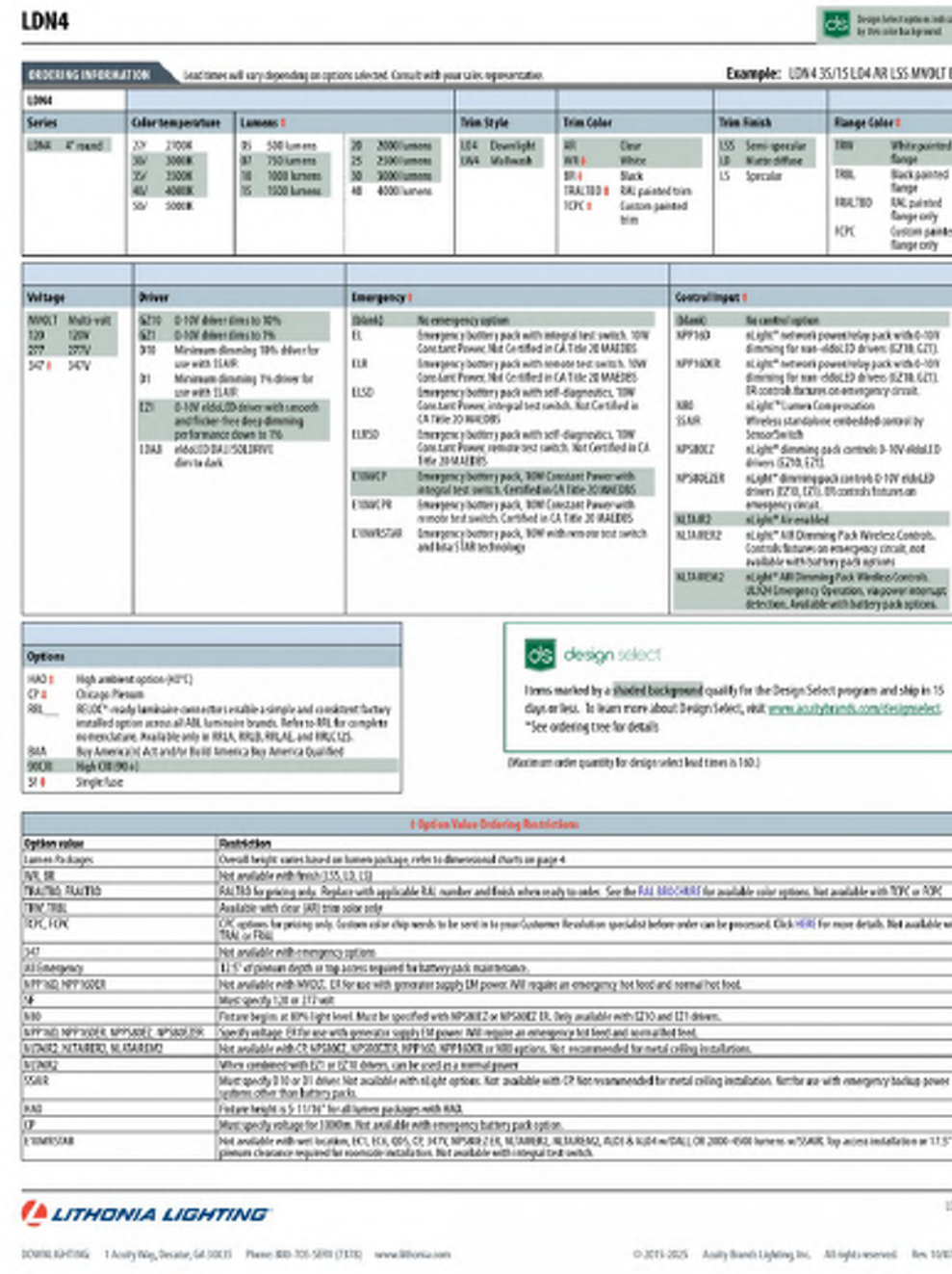
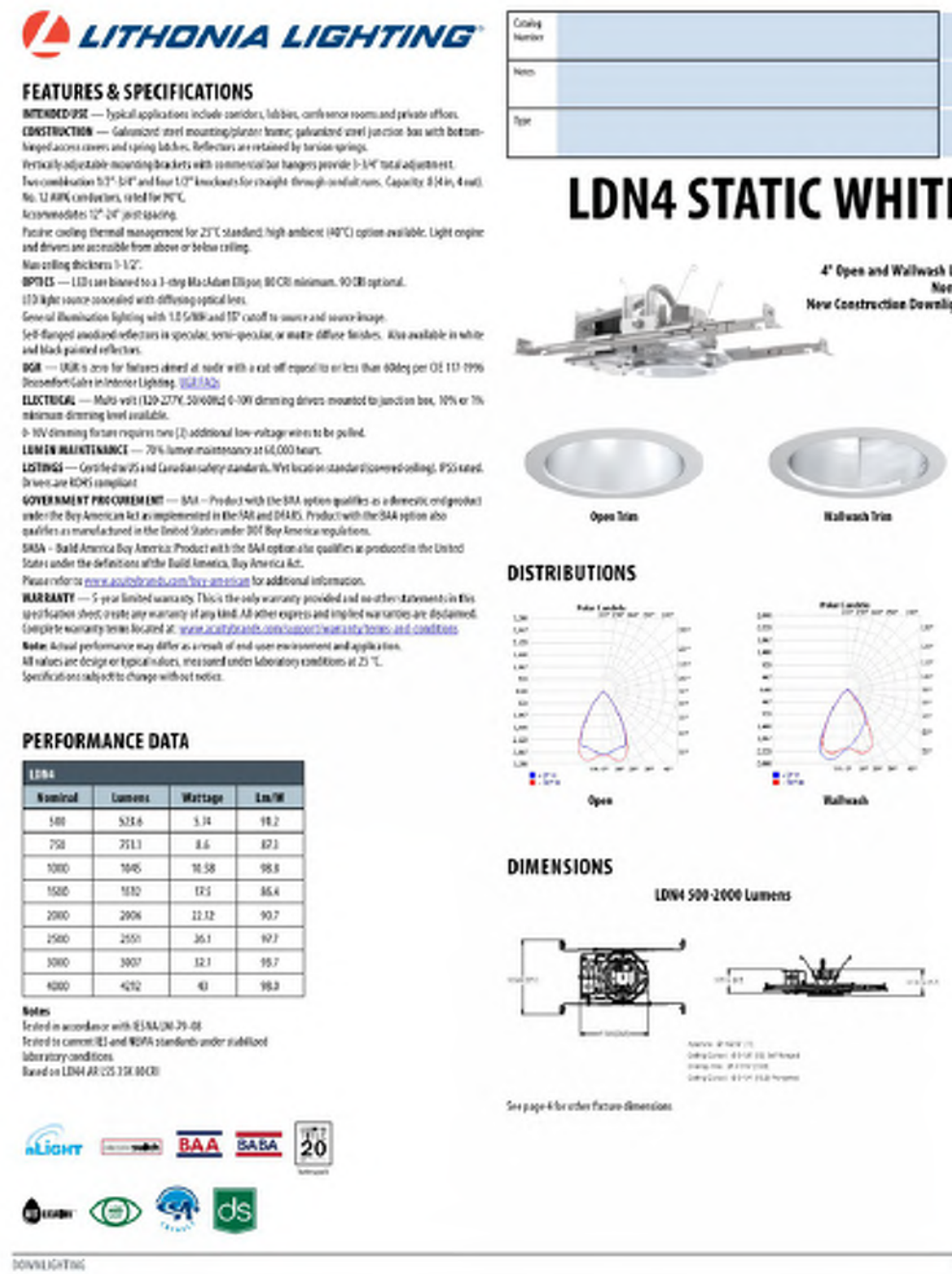
LUMINAIRE TYPE "EW1"



LUMINAIRE TYPE "EW2"



LUMINAIRE TYPE "D1"



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**ADVENTHEALTH
CASTLE PINES**

SITE IMPROVEMENT PLAN

DATE 06/05/2026

REVISIONS

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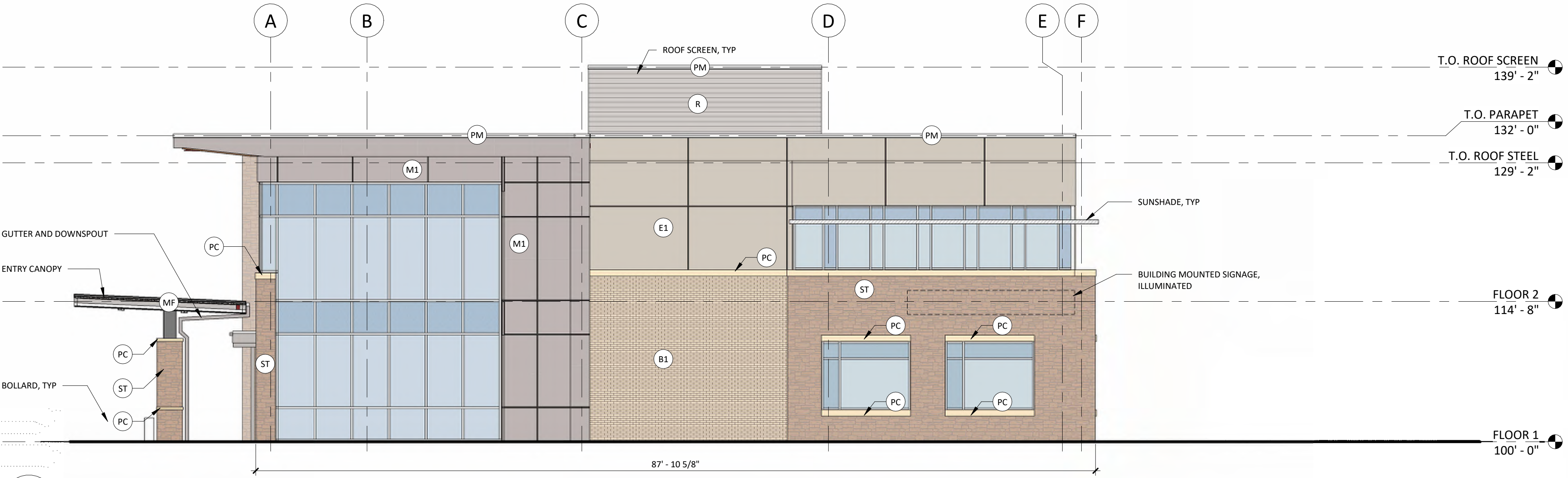
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LIGHTING CUTSHEETS

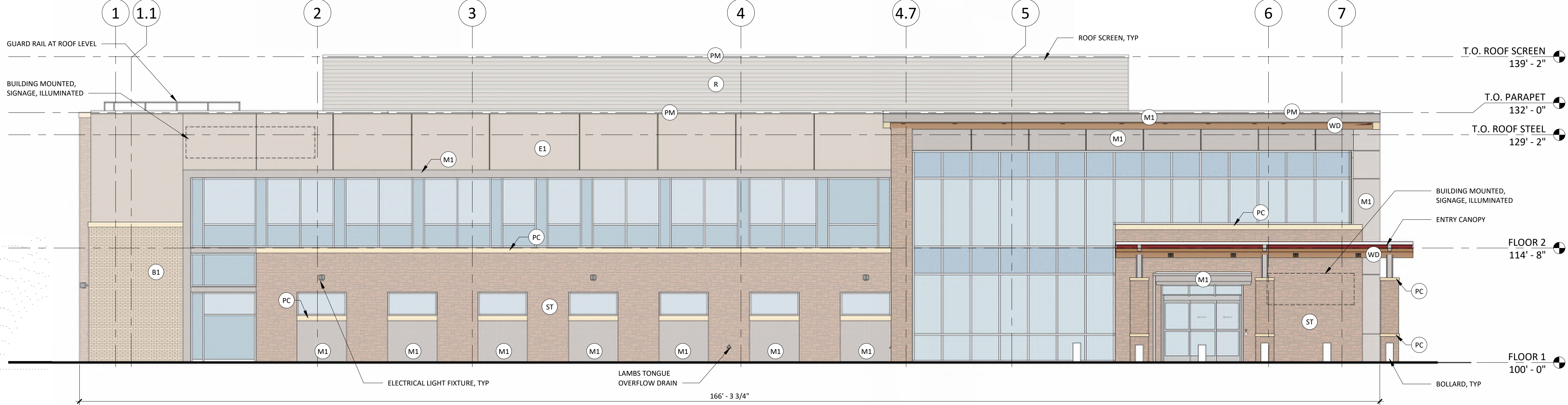
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CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
NW1/4 & SW1/4 Section 2, Township 7 South, Range 67 West
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1 WEST ELEVATION
A2.11 13 OF 16
1/8" = 1'-0"



2 NORTH ELEVATION
A2.01 13 OF 16
1/8" = 1'-0"

EXTERIOR ELEVATION MATERIAL LEGEND

- ST ADHERED STONE VENEER
BASIS OF DESIGN: SUNSET STONE
TYPE: LEDGE STONE - CHEYENNE
- B1 BRICK
BASIS OF DESIGN: INTERSTATE BRICK
COLOR: DESERT SAND
- E1 EIFS
BASIS OF DESIGN: STO
COLOR: AUTUMN WHEAT
- M1 PREFINISHED METAL PANEL SYSTEM
PRODUCT: REYNOBOND 4MM FR
PAINT SYSTEM: COLORWELD 500
PAINT FINISH: LIMESTONE
- V1 VISION GLAZING
PRODUCT: VITRO SOLORBAN 60 LOW-E
COLOR: SOLARGRAY TINTED
- S1 SPANDREL GLAZING
PRODUCT: VITRO SOLORBAN 60 LOW-E
COLOR: WARM GRAY TS3524
- R PREFINISHED METAL ROOF SCREEN
COLOR: LIMESTONE, TO MATCH METAL PANEL SYSTEM
- PC PRECAST CONCRETE
COLOR: BUFF SANDBLAST
- MF PREFINISHED BRAKE METAL FASCIA
PRODUCT: BERRIDGE
COLOR: LIMESTONE, TO MATCH METAL PANEL SYSTEM
- WD WOOD LOOK METAL PANEL (SOFFIT)
BASIS OF DESIGN: LONGBOARD
COLOR: LIGHT CHERRY



BOULDER ASSOCIATES

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BOULDER, COLORADO 80302
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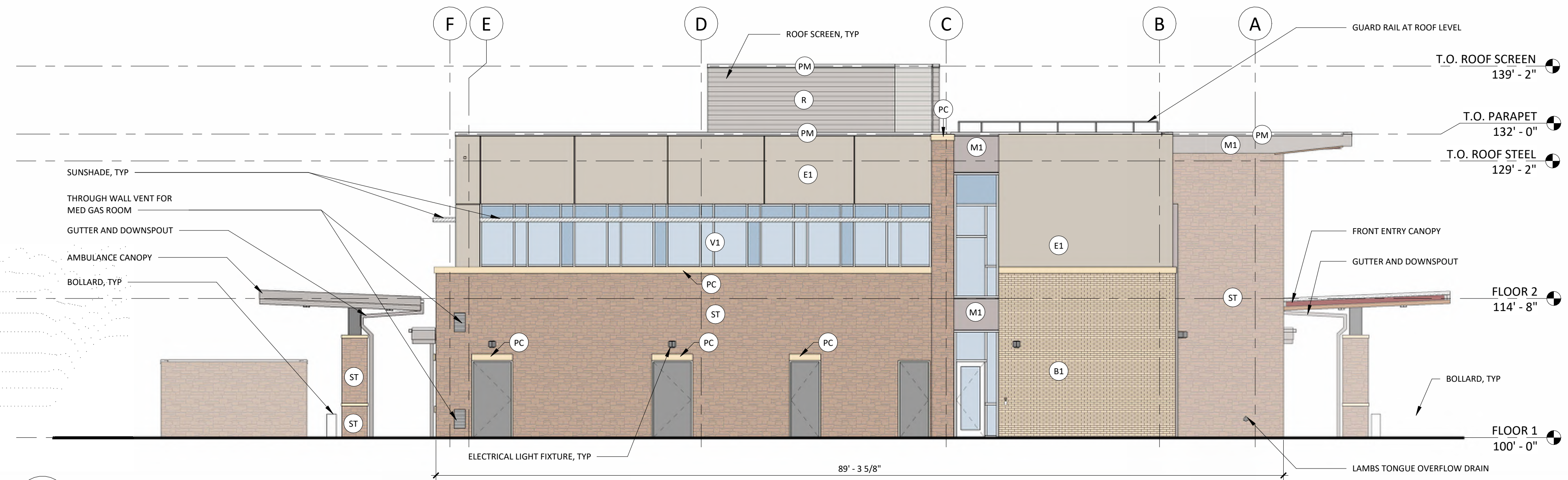
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EXTERIOR ELEVATIONS

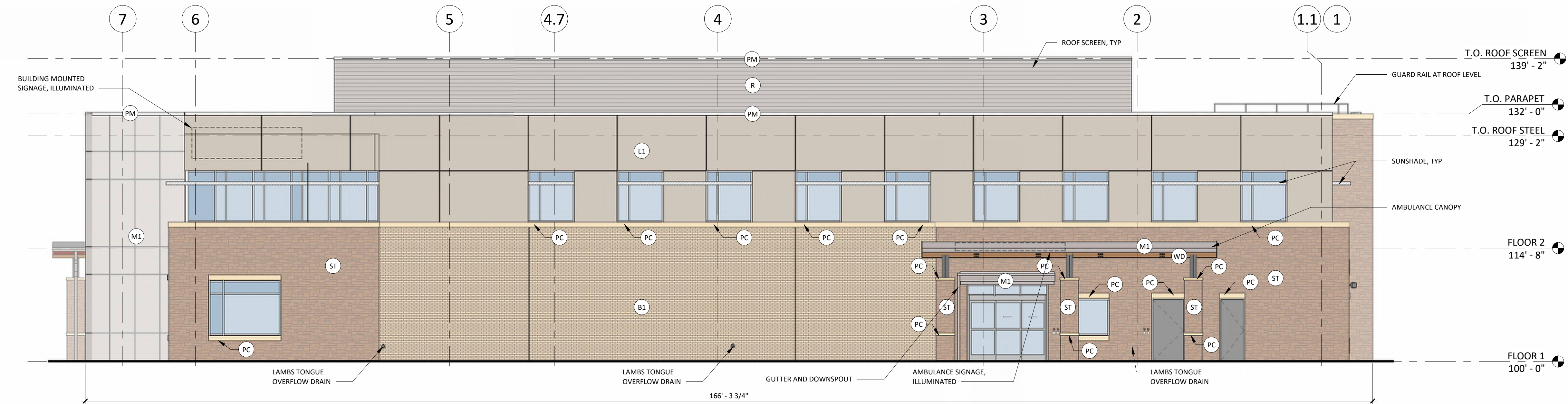
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13 OF 16

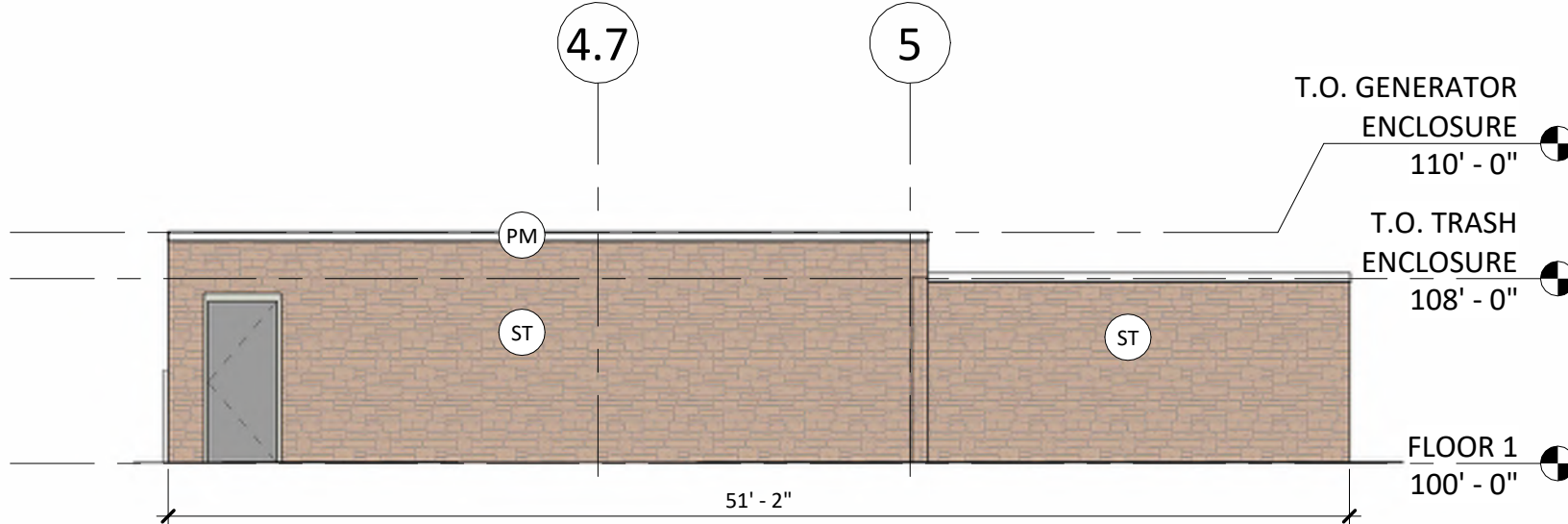
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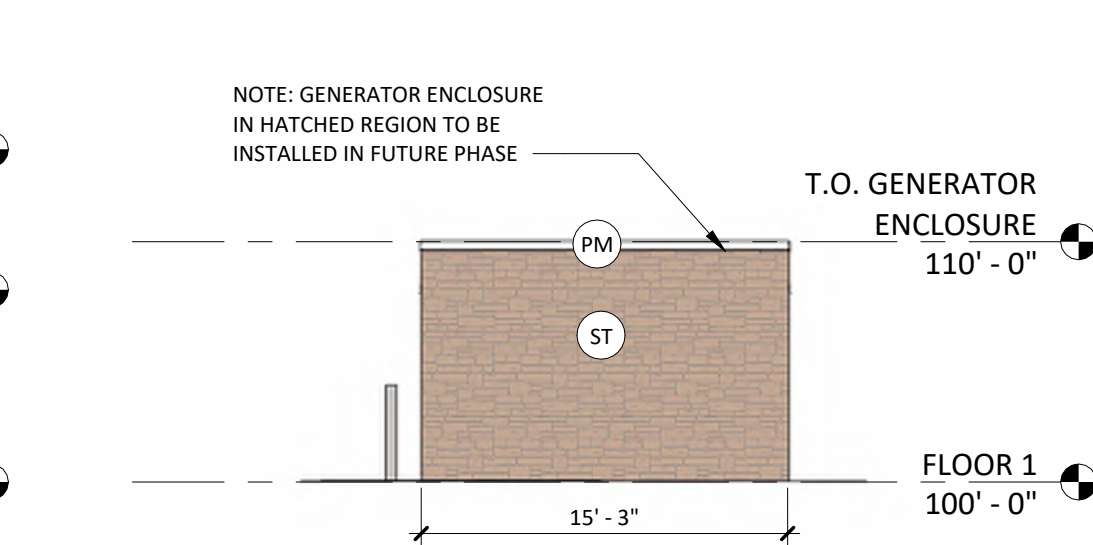
1 EAST ELEVATION
A2.11 14.0' 16 1/8" = 1'-0"



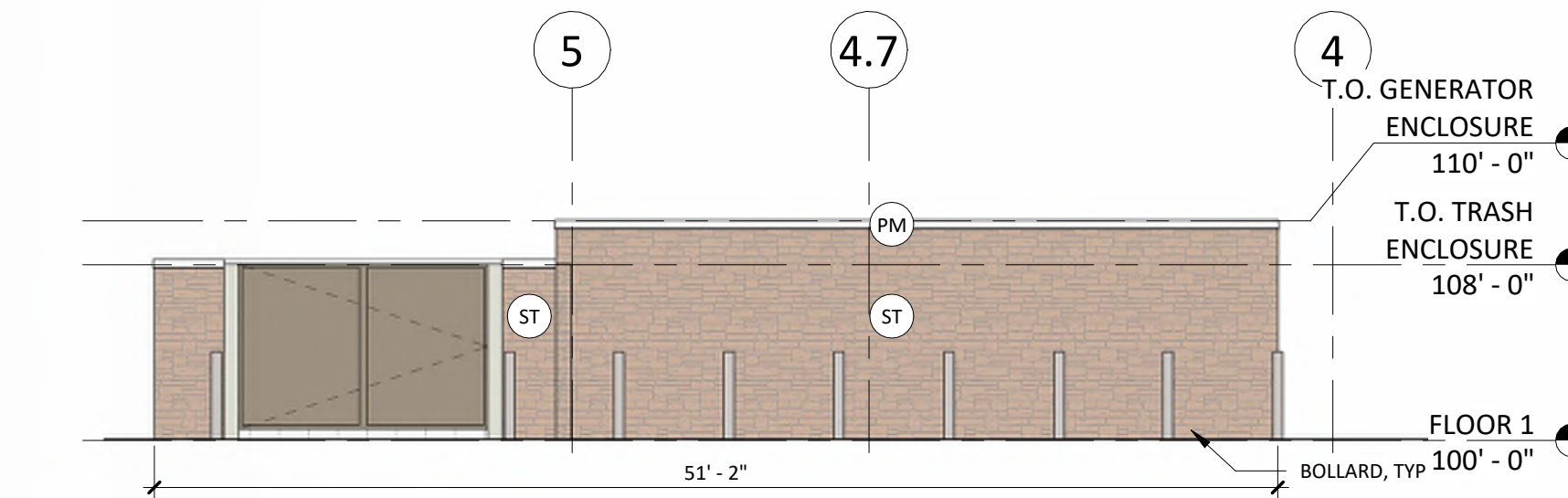
2 SOUTH ELEVATION
A1.20 14.0' 16 1/8" = 1'-0"



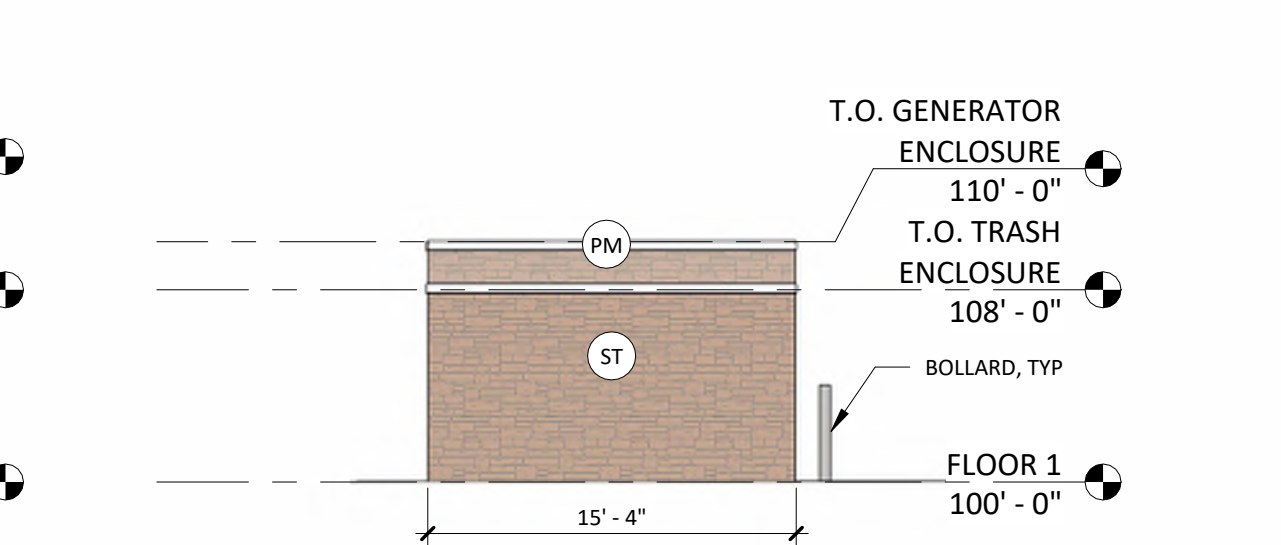
3 NORTH ELEVATION - TRASH AND GENERATOR ENCLOSURE SIP
A1.20 14.0' 16 1/8" = 1'-0"



4 EAST ELEVATION - TRASH AND GENERATOR ENCLOSURE SIP
A2.11 14.0' 16 1/8" = 1'-0"



5 SOUTH ELEVATION - TRASH AND GENERATOR ENCLOSURE SIP
A1.20 14.0' 16 1/8" = 1'-0"



6 WEST ELEVATION - TRASH AND GENERATOR ENCLOSURE SIP
A1.20 14.0' 16 1/8" = 1'-0"

EXTERIOR ELEVATION MATERIAL LEGEND

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BASIS OF DESIGN: SUNSET STONE
TYPE: LEDGE STONE - CHEYENNE
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BASIS OF DESIGN: INTERSTATE BRICK
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ADVENTHEALTH
CASTLE PINES

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OWNER	INITIALS/DATE
LESSEE (IF APPLICABLE)	INITIALS/DATE

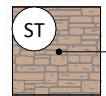
SHEET TITLE

EXTERIOR ELEVATIONS

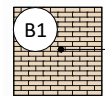
SHEET NUMBER

14 OF 16

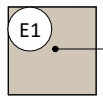
CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
NW1/4 & SW1/4 Section 2, Township 7 South, Range 67 West
Planning Area 3 - 5.78 Acres
Site Improvement Plan -- SIP-2026-001



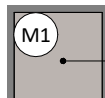
ADHERED STONE VENEER
BASIS OF DESIGN: SUNSET STONE
TYPE: LEDGE STONE - CHEYENNE



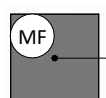
BRICK
BASIS OF DESIGN: INTERSTATE BRICK
TYPE: DESERT SAND



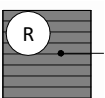
EIFS
BASIS OF DESIGN: STO
TYPE: AUTUMN WHEAT



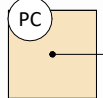
PREFINISHED METAL PANEL SYSTEM
PRODUCT: REYNOBOND 4MM FR
PAINT SYSTEM: COLORWELD 500
PAINT FINISH: LIMESTONE



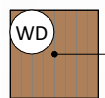
PREFINISHED BRAKE METAL FASCIA
PRODUCT: BERRIDGE
COLOR: LIMESTONE, TO MATCH METAL
PANEL SCREEN



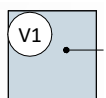
PREFINISHED METAL ROOF SCREEN
COLOR: LIMESTONE, TO MATCH
METAL PANEL SYSTEM



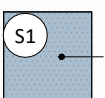
PRECAST CONCRETE
COLOR: BUFF SANDBLAST



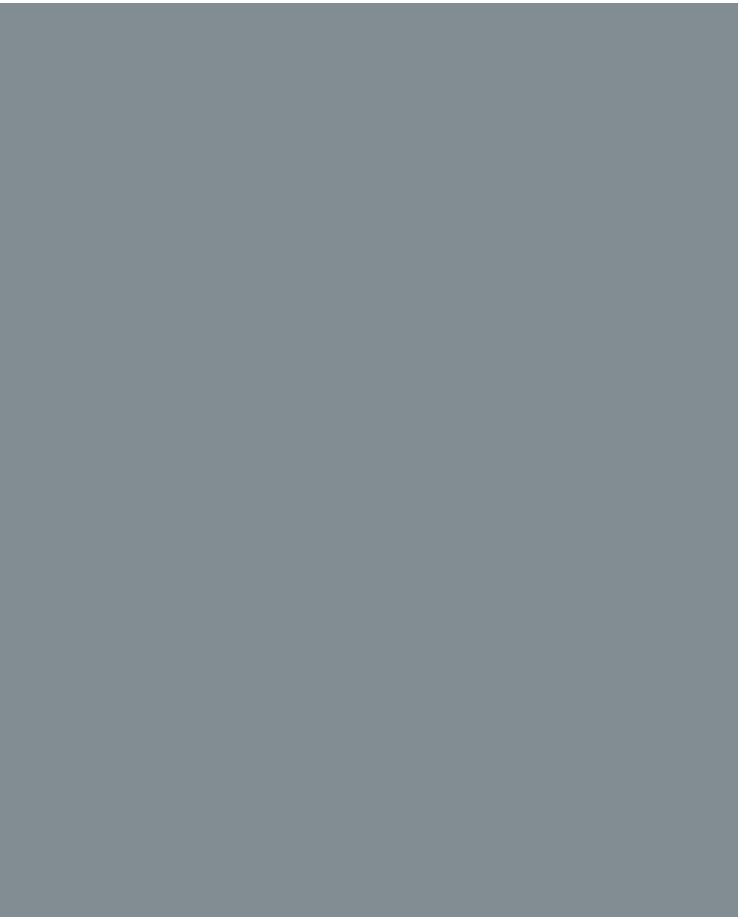
WOOD LOOK METAL PANEL (SOFFIT)
BASIS OF DESIGN: LONGBOARD
COLOR: LIGHT CHERRY



VISION GLAZING
PRODUCT: VITRO SOLARBAN 60 LOW-E
COLOR: SOLARGRAY TINTED



SPANDREL GLAZING
PRODUCT: VITRO SOLORBAN 60 LOW-E
COLOR: WARM GRAY TS3524



BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

PROJECT 257483.00

ADVENTHEALTH
CASTLE PINES

SITE IMPROVEMENT
PLAN

DATE 06/05/2026

REVISIONS		
#	DESCRIPTION	DATE

APPROVAL CERTIFICATE

ENGINEERING	_____ INITIALS/DATE
PLANNING	_____ INITIALS/DATE
OWNER	_____ INITIALS/DATE
LESSEE (IF APPLICABLE)	_____ INITIALS/DATE

SHEET TITLE

EXTERIOR MATERIALS

SHEET NUMBER

15 OF 16

CANYONSIDE SUBDIVISION, Filing No.2, Lot 3
NW1/4 & SW1/4 Section 2, Township 7 South, Range 67 West
Planning Area 3 - 5.78 Acres
Site Improvement Plan -- SIP-2026-001

VIEW LOOKING SOUTHWEST FROM PARKING LOT



VIEW LOOKING NORTHEAST FROM CASTLE PINES PKWY.



VIEW LOOKING SOUTHWEST FROM CANYON FORGE DRIVE.



VIEW LOOKING SOUTHEAST FROM PARKING LOT



VIEW LOOKING SOUTH FROM CASTLE PINES PKWY.



BA

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PROJECT257483.00

ADVENTHEALTH
CASTLE PINES

SITE IMPROVEMENT
PLAN

DATE06/05/2026

REVISIONS

#	DESCRIPTION	DATE
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SHEET TITLE

EXTERIOR RENDERINGS

SHEET NUMBER

16 OF 16

APPROVAL CERTIFICATE	
ENGINEERING	INITIALS/DATE
PLANNING	INITIALS/DATE
OWNER	INITIALS/DATE
LESSEE (IF APPLICABLE)	INITIALS/DATE