

LAGAE FAMILY TRUST MINOR DEVELOPMENT , LOT 5
LOCATED IN THE SW 1/4, SEC. 3, T7S, R67W, 6TH P.M.
CITY OF CASTLE PINES, COUNTY OF DOUGLAS, STATE OF COLORADO
PLANNING AREA 5 - 0.71 ACRES
SITE IMPROVEMENT PLAN - SIP-2026-002

STATISTICAL INFORMATION

GROSS FLOOR AREA	6,912 SF
GROSS PROJECT (SITE) AREA	0.715 ACRES (31,126 S.F.)
NET PROJECT (SITE) AREA	0.715 ACRES (31,126 S.F.)
FLOOR AREA RATIO	0.22
MAXIMUM HEIGHT OF STRUCTURE	40 FEET
PROPOSED HEIGHT OF STRUCTURE	22'-2" (1 STORY)
ZONING:	PUD
PROPOSED USE:	RETAIL
CONSTRUCTION TYPE:	V-B
OCCUPANCY GROUP:	MERCANTILE

BUILDING SETBACKS	REQUIRED	PROVIDED
EAST	11.2 FEET MIN.*	11.2 FEET*
SOUTH	0 FEET MIN.	29.9 FEET
WEST	0 FEET MIN.	72.0 FEET
NORTH	20 FEET MIN.	64.6 FEET

* THE REQUIRED BUILDING SETBACK TO LAGAE ROAD WAS REDUCED FROM 20 FEET TO 11.2 FEET BY THE APPROVAL OF VARIANCE REQUEST VAR-2025-004.

PARKING ANALYSIS

REQUIRED
1 SPACE PER 300 SF = 23 SPACES

PROVIDED	
STANDARD PARKING	26
(9' x 18')	
ADA PARKING	2
(9' x 18')	
TOTAL PARKING	28
BICYCLE PARKING	REQUIRED: 2 PROVIDED: 2

LAND USE AREAS

BUILDING FOOTPRINT	6,912 SF
PARKING AND ROADS	14,904 SF
HANDSCAPE TOTAL	21,816 SF
PLANTED AREA	8,747 SF
EXISTING VEGETATION	0 SF
TRAILS AND WALKS	563 SF
POROUS PAVEMENT	0 SF
LANDSCAPE TOTAL	9,310 SF

LEGAL DESCRIPTION

LOT 5, LAGAE FAMILY TRUST MINOR DEVELOPMENT FINAL PLAT AS PLATTED IN THE RECORDS OF DOUGLAS COUNTY, COLORADO AT RECEPTION NUMBER 2020078058.

BASIS OF BEARINGS

THE EASTERLY LINE OF LOT 5, LAGAE FAMILY TRUST MINOR DEVELOPMENT, BEING MONUMENTED AT THE NORTH END BY A 1.25" YELLOW PLASTIC CAP STAMPED "JEHN ENG. PLS 34580" AND AT THE SOUTH END BY A NAIL AND DISC STAMPED "PLS 34580" ASSUMED TO BEAR S33°59'24"E.

BENCHMARK

WEST ¼ CORNER SECTION 3, FOUND 3.25" ALUMINUM CAP PLS 10734 MATCHING MONUMENT RECORD FILED 7/31/17.

NOTE

OWNER WAIVES, REMISES, AND RELEASES ANY RIGHT OR CAUSE OF ACTION IT MAY NOW HAVE OR WHICH IT MAY HAVE IN THE FUTURE AGAINST THE CITY OF CASTLE PINES, ITS OFFICERS, EMPLOYEES, AND AGENTS RELATED TO OR RESULTING FROM THE PASSAGE OF AIRCRAFT IN THE AIRSPACE ABOVE THE PROPERTY THAT IS THE SUBJECT OF THIS SITE IMPROVEMENT PLAN.

OWNER/DEVELOPER

ADVANCE STORES COMPANY, INC.
4200 SIX FORKS ROAD
RALEIGH, NC 27609
602-622-9707
CONTACT: ADAM SHROYER

ARCHITECT

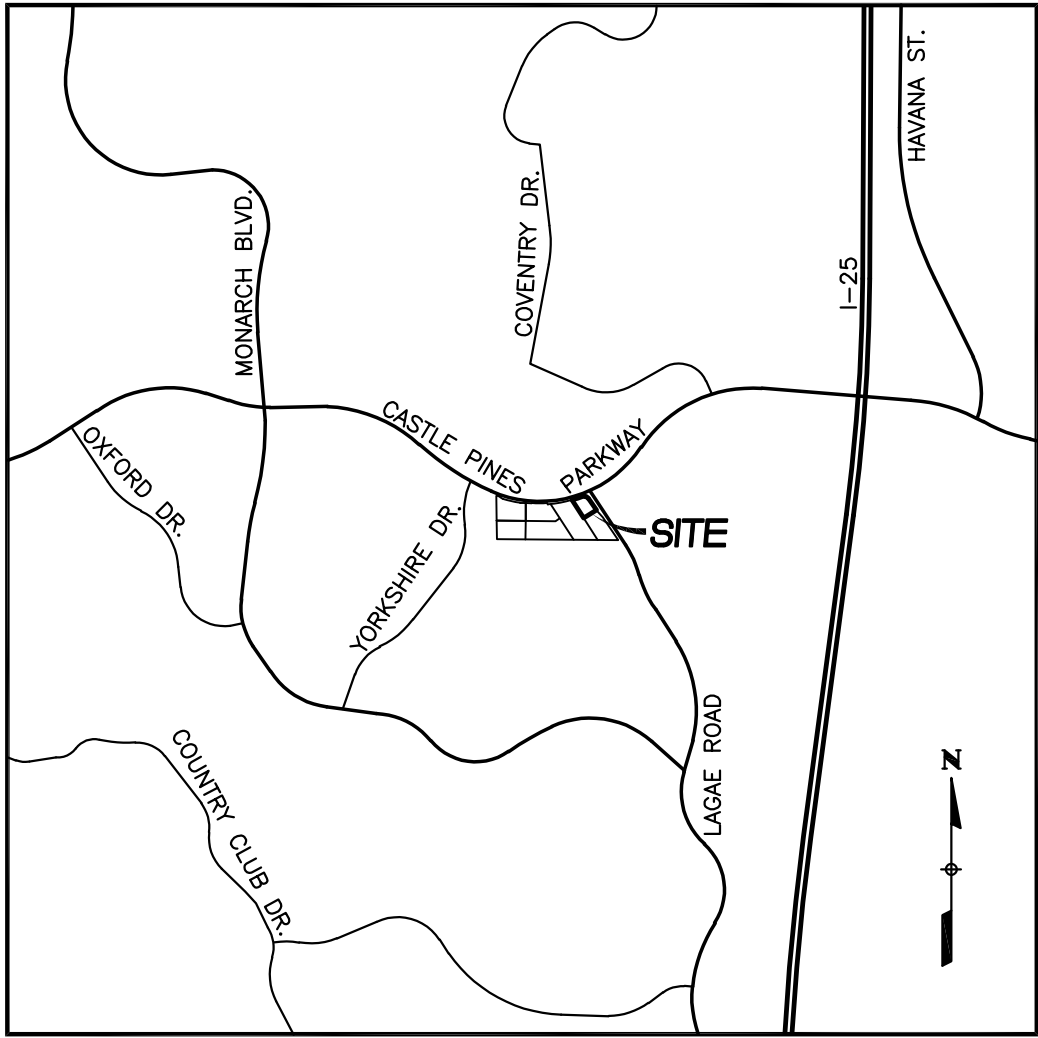
KINETIC DESIGN
29833 SANTA MARGARITA PARKWAY, SUITE 300
RANCHO SANTA MARGARITA, CA 92688
951-531-9381
CONTACT: KRISTIN FREEMAN

CIVIL ENGINEER/SURVEYOR

VERMILION PEAK ENGINEERING
1745 SHEA CENTER DRIVE, 4TH FLOOR
HIGHLANDS RANCH, CO 80129
720-402-6070
CONTACT: BRIAN KROMBEIN, PE, PLS

LANDSCAPE ARCHITECT

TIM DUNN LANDSCAPE ARCHITECTURE
720-350-2411
CONTACT: TIM DUNN



VICINITY MAP

SCALE: 1"=2000'

SHEET INDEX

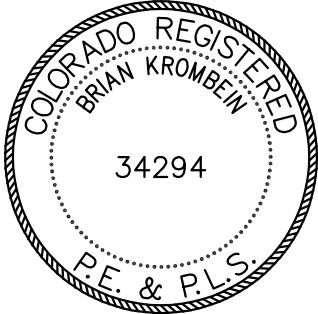
1 OF 11	COVER SHEET
2 OF 11	SITE PLAN
3 OF 11	GRADING AND DRAINAGE PLAN
4 OF 11	UTILITY PLAN
5 OF 11	LANDSCAPE PLAN
6 OF 11	LANDSCAPE PLANT NOTES AND DETAILS
7 OF 11	ELEVATIONS
8 OF 11	3D RENDERINGS
9 OF 11	DIGITAL MATERIALS BOARD
10 OF 11	TRASH ENCLOSURE
11 OF 11	PHOTOMETRIC

CIVIL ENGINEER'S STATEMENT

I, BRIAN KROMBEIN, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL CITY OF CASTLE PINES PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED ENGINEER
BRIAN KROMBEIN, PE, PLS.
COLORADO PE NO. 34294

DATE



SURVEYOR'S CERTIFICATE

I, DEREK LEE VAGIAS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THE SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR
DEREK LEE VAGIAS, PE, PLS.
COLORADO PLS NO. 38578

DATE

PLANNING COMMISSION APPROVAL CERTIFICATE

THIS SITE IMPROVEMENT PLAN FOR THE ADVANCE AUTO PARTS RETAIL STORE WAS REVIEWED BY THE CASTLE PINES COMMISSION ON _____ AND FOUND TO BE IN SUBSTANTIAL COMPLIANCE WITH THE CITY OF CASTLE PINES CODE.

DIRECTOR OF COMMUNITY DEVELOPMENT
ON BEHALF OF THE PLANNING COMMISSION

APPROVAL CERTIFICATE

THIS SITE IMPROVEMENT PLAN HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH CITY OF CASTLE PINES REGULATIONS.

CITY ENGINEER _____ DATE _____

COMMUNITY DEVELOPMENT DIRECTOR _____ DATE _____

- * BUILDING PERMITS PURSUANT TO THIS SITE IMPROVEMENT PLAN (SIP) SHALL NOT BE ISSUED AFTER THREE (3) YEARS FROM THE DATE OF SIP APPROVAL, AS NOTED ON THE NOTICE OF ACTION - FINAL STATUS, UNLESS AN EXTENSION WAS GRANTED. FAILURE TO OBTAIN A BUILDING PERMIT IN THE THREE (3) YEAR PERIOD AFTER APPROVAL OF SHALL CAUSE THE UNBUILT PORTION OF THIS SIP TO BE NULL AND VOID.
- * ACCEPTANCE OF SITE CONSTRUCTION DRAWINGS BY CITY ENGINEER SHALL BE REQUIRED (AS APPLICABLE) PRIOR TO ISSUANCE OF BUILDING PERMITS. ACCEPTANCE OF SITE CONSTRUCTION DRAWINGS EXPIRES THREE (3) YEARS AFTER THE DATE OF SIGNATURE.
- * SIGNS SHOWN HEREON ARE NOT APPROVED. ALL SIGNS REQUIRE APPROVAL OF A SIGN PERMIT IN ACCORDANCE WITH THE SIGN STANDARDS SECTION OF THE CITY OF CASTLE PINES ZONING ORDINANCE.

THE UNDERSIGNED AS THE OWNER OR OWNER'S REPRESENTATIVE OF THE LANDS DESCRIBED HEREIN HEREBY AGREE ON BEHALF OF ITSELF AND ITS SUCCESSORS AND ASSIGNS TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE AND COMPLIANCE WITH THIS APPROVED SIP AND THE CITY OF CASTLE PINES ZONING ORDINANCE.

ADVANCE STORE COMPANY, INC.

BY: _____
ADAM SHROYER

TITLE: _____

DATE: _____

ATTEST:

SECRETARY/TREASURER

STATE OF _____)

COUNTY OF _____)

ACKNOWLEDGED BEFORE ME THIS _____DAY OF _____, 20_____, BY ADAM SHROYER AS _____ OF ADVANCE STORE COMPANY, INC, A NORTH CAROLINA CORPORATION.

MY COMMISSION EXPIRES: _____

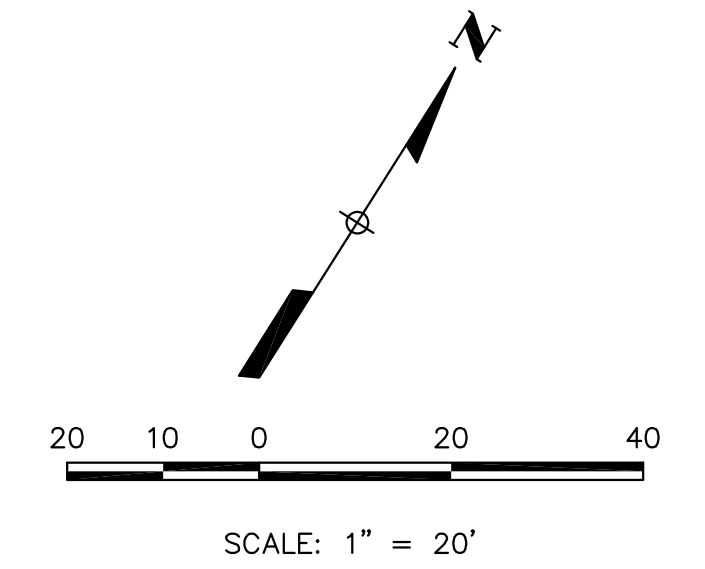
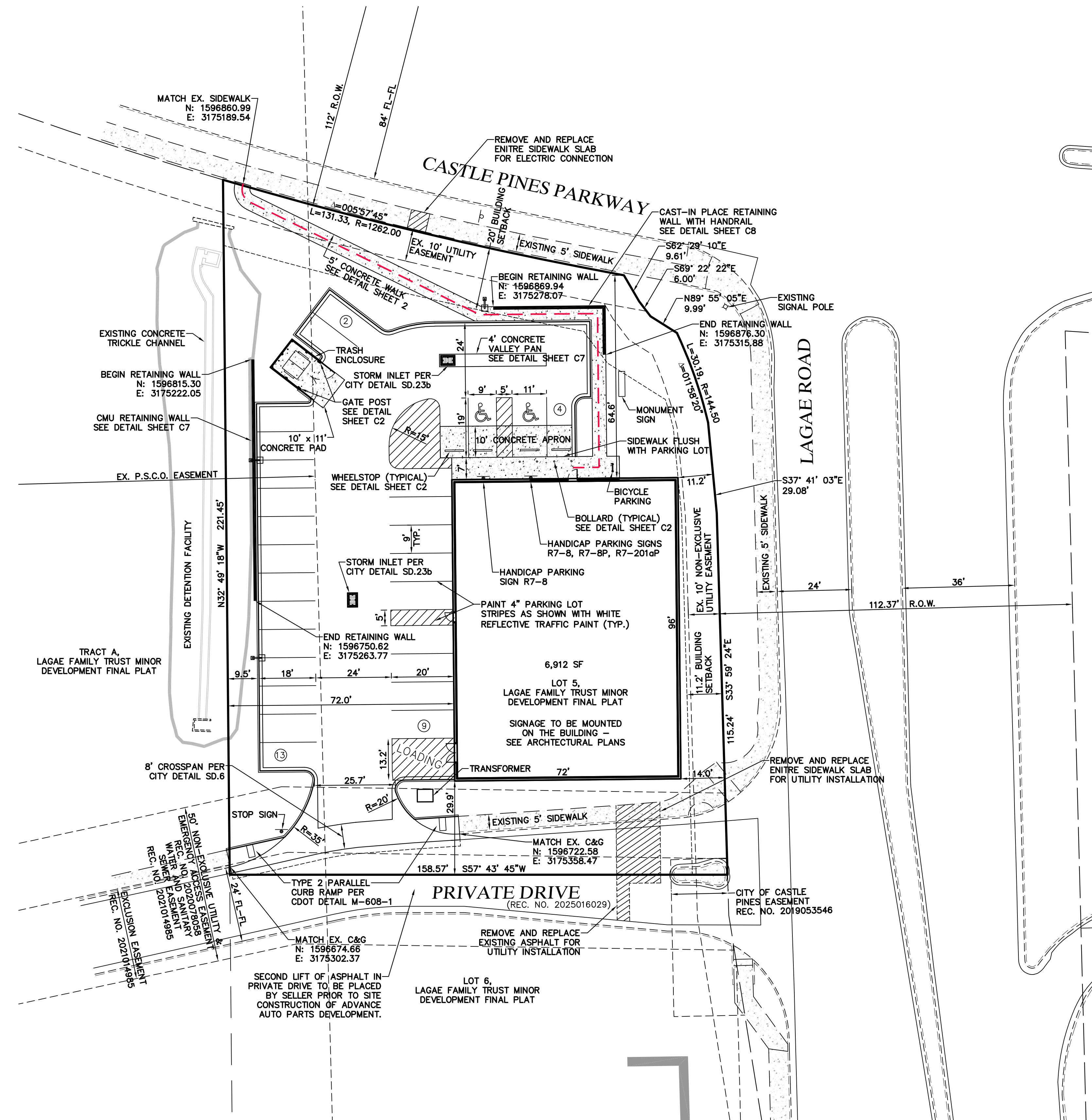
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

COVER SHEET
ADVANCE AUTO PARTS
JOB NO. 25013
DATE: AUGUST 5, 2026
SHEET 1 OF 11



LAGAE FAMILY TRUST MINOR DEVELOPMENT , LOT 5
LOCATED IN THE SW 1/4, SEC. 3, T7S, R67W, 6TH P.M.
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PLANNING AREA 5 - 0.71 ACRES
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LEGEND

	PROPERTY LINE
	R.O.W. LIMITS
	EXISTING CURB & GUTTER
	PROPOSED 2' CATCH CURB AND GUTTER
	PROPOSED 1' SPILL CURB AND GUTTER
	SIGN AS DESCRIBED
	PROPOSED LIGHT POLE
	EXISTING LIGHT POLE
	CONCRETE PAVEMENT
	BUILDING SETBACK
	EXISTING EASEMENT
	PROPOSED RETAINING WALL
	PARKING COUNT
	ACCESSIBLE ROUTE

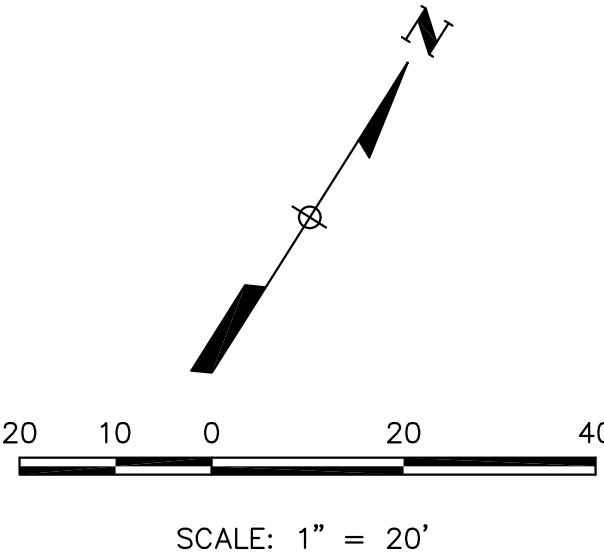
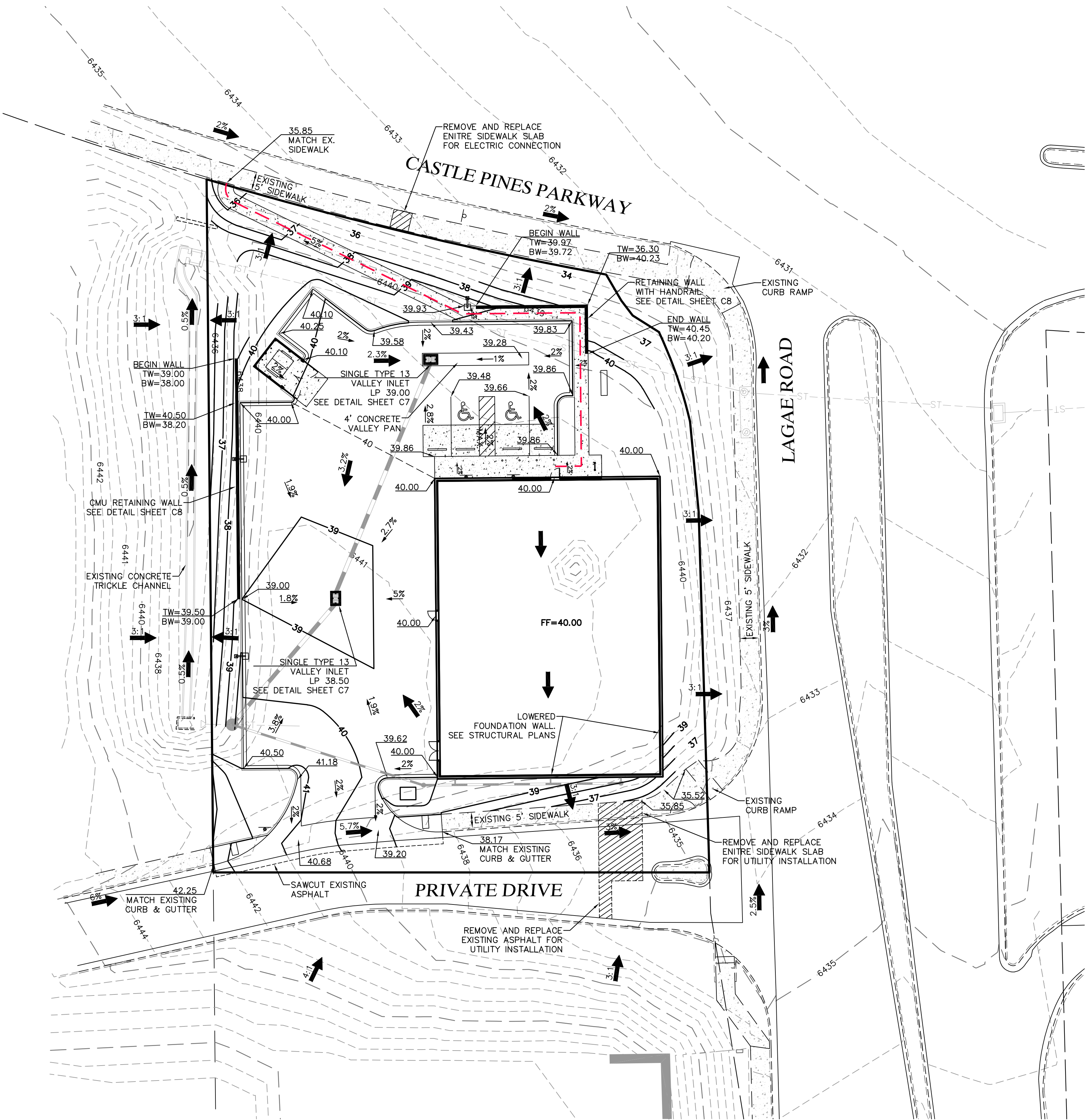
APPROVAL CERTIFICATE

ENGINEERING	----- INITIALS/DATE
PLANNING	----- INITIALS/DATE
OWNER	----- INITIALS/DATE
LESEE	----- INITIALS/DATE

SITE PLAN
ADVANCE AUTO PARTS
JOB NO. 25013
DATE: AUGUST 5, 2026
SHEET 2 OF 11



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- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOUR (1' INTERVAL)
 - EXISTING CONTOUR (5' INTERVAL)
 - PROPOSED CONTOUR
 - DRAINAGE FLOW DIRECTION
 - EXISTING CURB & GUTTER
 - PROPOSED 2' CATCH CURB AND GUTTER
 - PROPOSED 1' SPILL CURB AND GUTTER
 - LIMITS OF RIGHT-OF-WAY
 - EXISTING STORM SEWER
 - PROPOSED RCP STORM SEWER
 - ACCESSIBLE ROUTE

BENCHMARK
WEST 1/4 CORNER SECTION 3, FOUND 3.25" ALUMINUM CAP PLS 10734 MATCHING MONUMENT RECORD FILED 7/31/17.

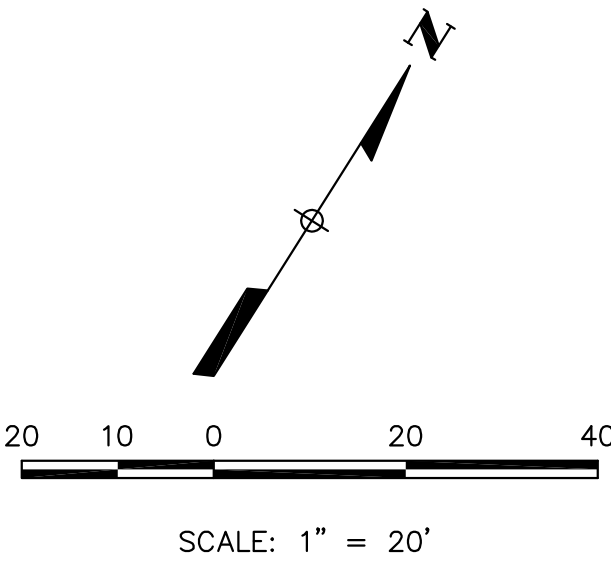
APPROVAL CERTIFICATE

ENGINEERING _____ INITIALS/DATE _____
PLANNING _____ INITIALS/DATE _____
OWNER _____ INITIALS/DATE _____
LESEE _____ INITIALS/DATE _____

GRADING AND DRAINAGE PLAN
ADVANCE AUTO PARTS
JOB NO. 25013
DATE: AUGUST 5, 2026
SHEET 3 OF 11



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FIRE FLOW

FIRE FLOW REQUIREMENTS ARE 2,250 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE. THIS FLOW MUST BE PROVIDED FROM A MINIMUM OF 2 FIRE HYDRANTS. INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1,500 GPM MINIMUM @ 20 PSI RESIDUAL PRESSURE.

CODE USED FOR ANALYSIS: 2018 IFC WITH AMENDMENTS
OCCUPANCY GROUP(S): MERCANTILE
CONSTRUCTION TYPE(S): V-B
FIRE FLOW CALCULATION AREA: 6,912 SF
THIS BUILDING IS NOT FULLY SPRINKLERED

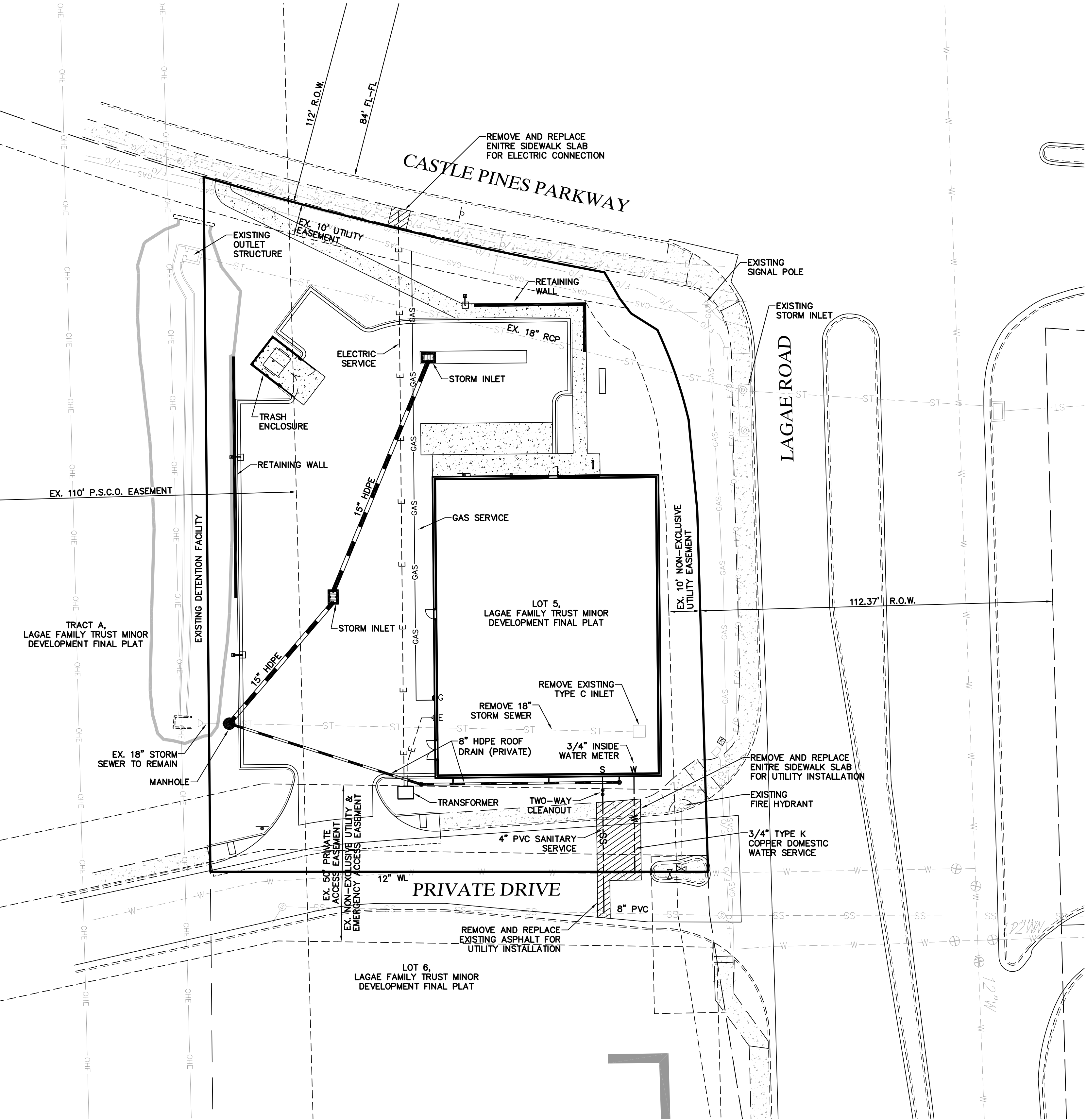
LEGEND

- PROPERTY LINE
- R.O.W. LIMITS
- EXISTING CURB & GUTTER
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING STORM SEWER
- EXISTING GAS PIPE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND FIBRE OPTIC
- EXISTING OVERHEAD ELECTRIC
- PROPOSED GAS PIPE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED RCP STORM SEWER
- PROPOSED 2' CATCH CURB AND GUTTER
- PROPOSED 1' SPILL CURB AND GUTTER
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- CONCRETE PAVEMENT
- EXISTING EASEMENT
- PROPOSED LIGHT POLE

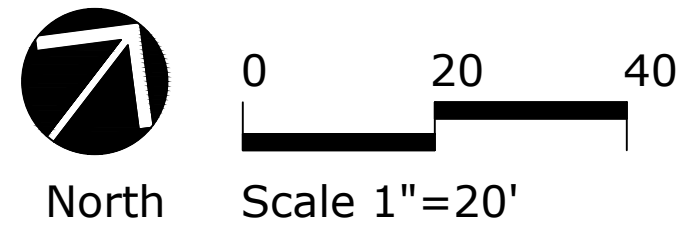
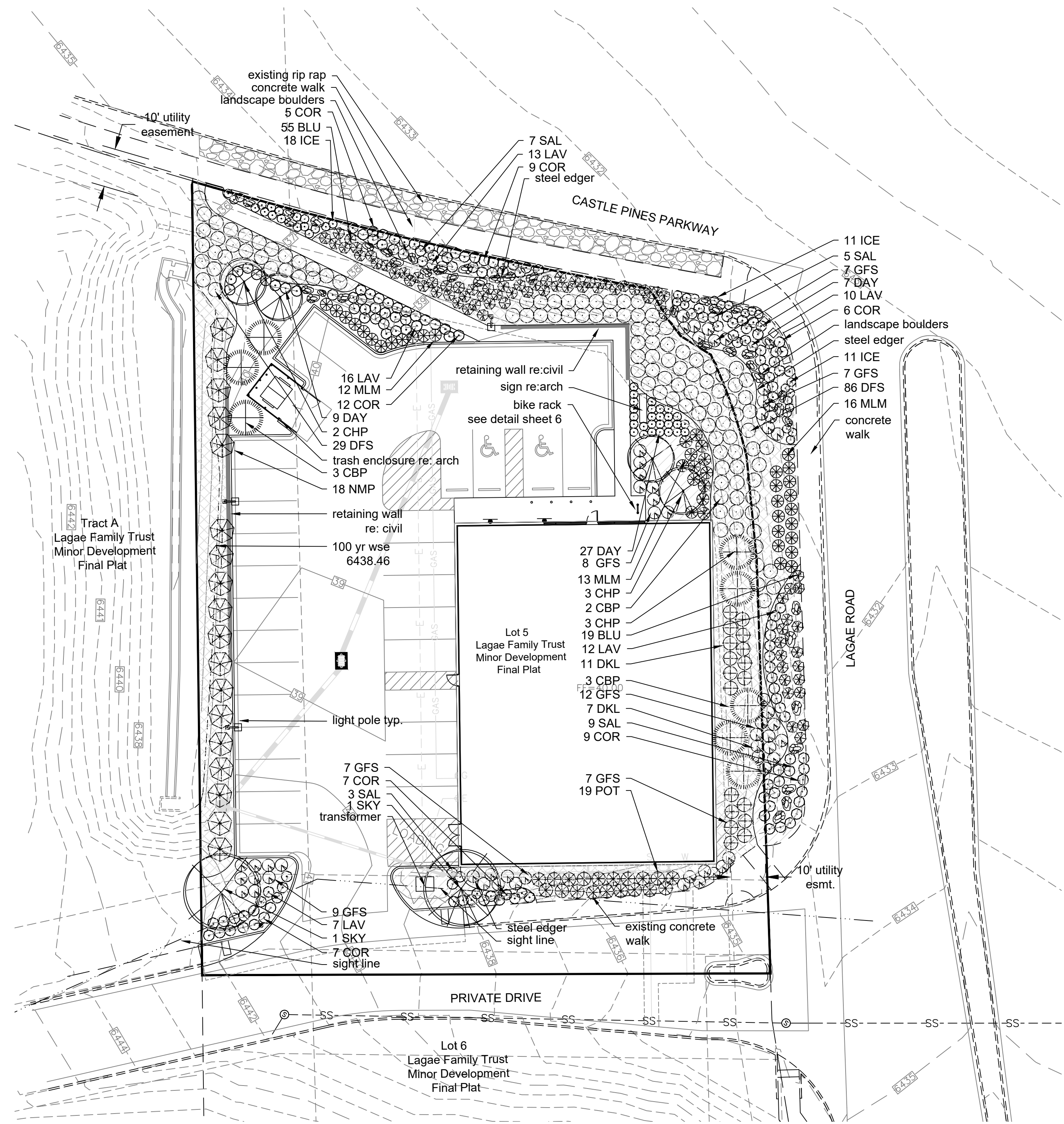
APPROVAL CERTIFICATE

ENGINEERING _____ INITIALS/DATE _____
PLANNING _____ INITIALS/DATE _____
OWNER _____ INITIALS/DATE _____
LESEE _____ INITIALS/DATE _____

UTILITY PLAN
ADVANCE AUTO PARTS
JOB NO. 25013
DATE: AUGUST 5, 2026
SHEET 4 OF 11



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Site Data

Total Site Area = 31,126 sf
Total Site Landscape Area = 9,028 sf (29%)
Bike parking required = 2 spaces
Bike parking provided = 2 spaces

Legend

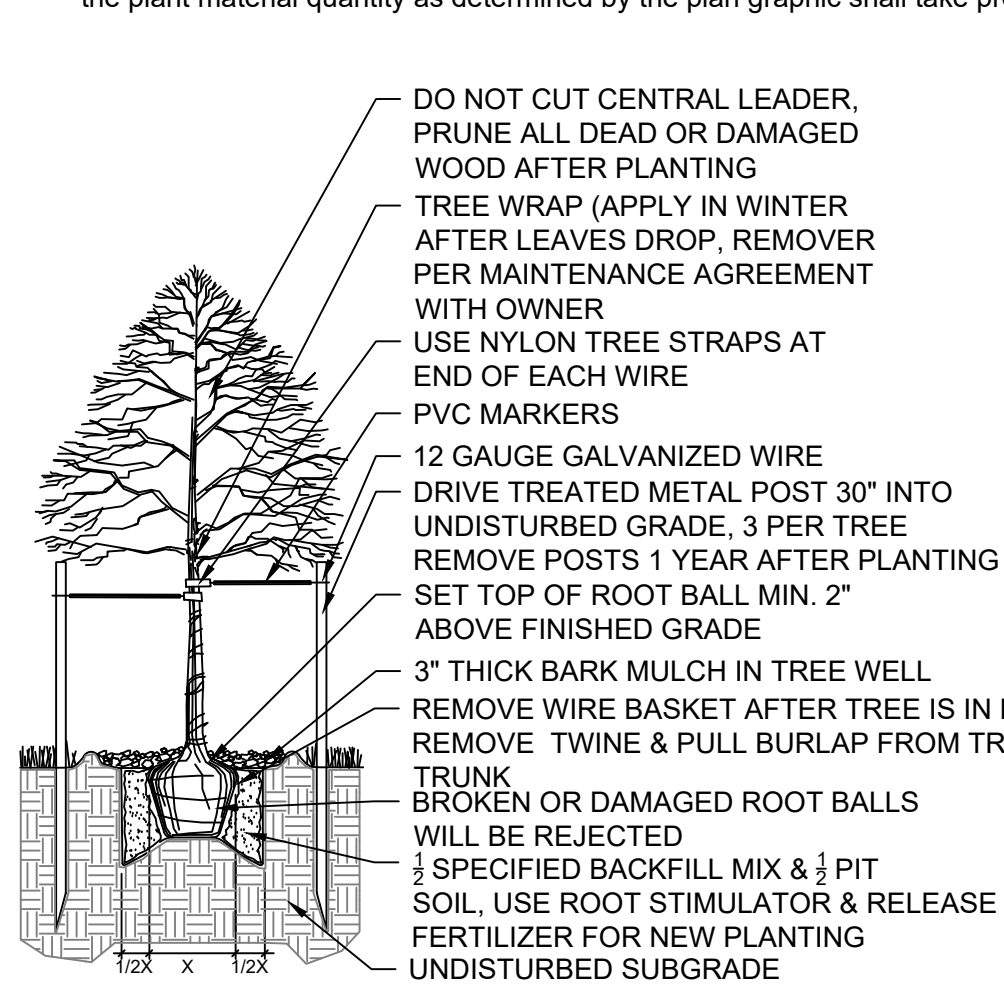
- Existing Rip Rap
- Shredded Cedar Mulch
- Rock Mulch
- BARK MULCH IMAGE
Pioneer Gravel
Cascade cedar mulch
3"-4" depth
- ROCK MULCH IMAGE
Pioneer Gravel
Bulk mountain angular granite
1.5" - 4" diameter
- 2 " Caliper Deciduous Trees
- 1.5" Ornamental Trees
- 6' Ht. Evergreen Trees
- 5 Gallon Deciduous Shrubs
- 1 Gallon Ornamental Grasses
- 1 Gallon Perennials
- Landscape boulders, 2'x3 typical size
- Landscape steel edger

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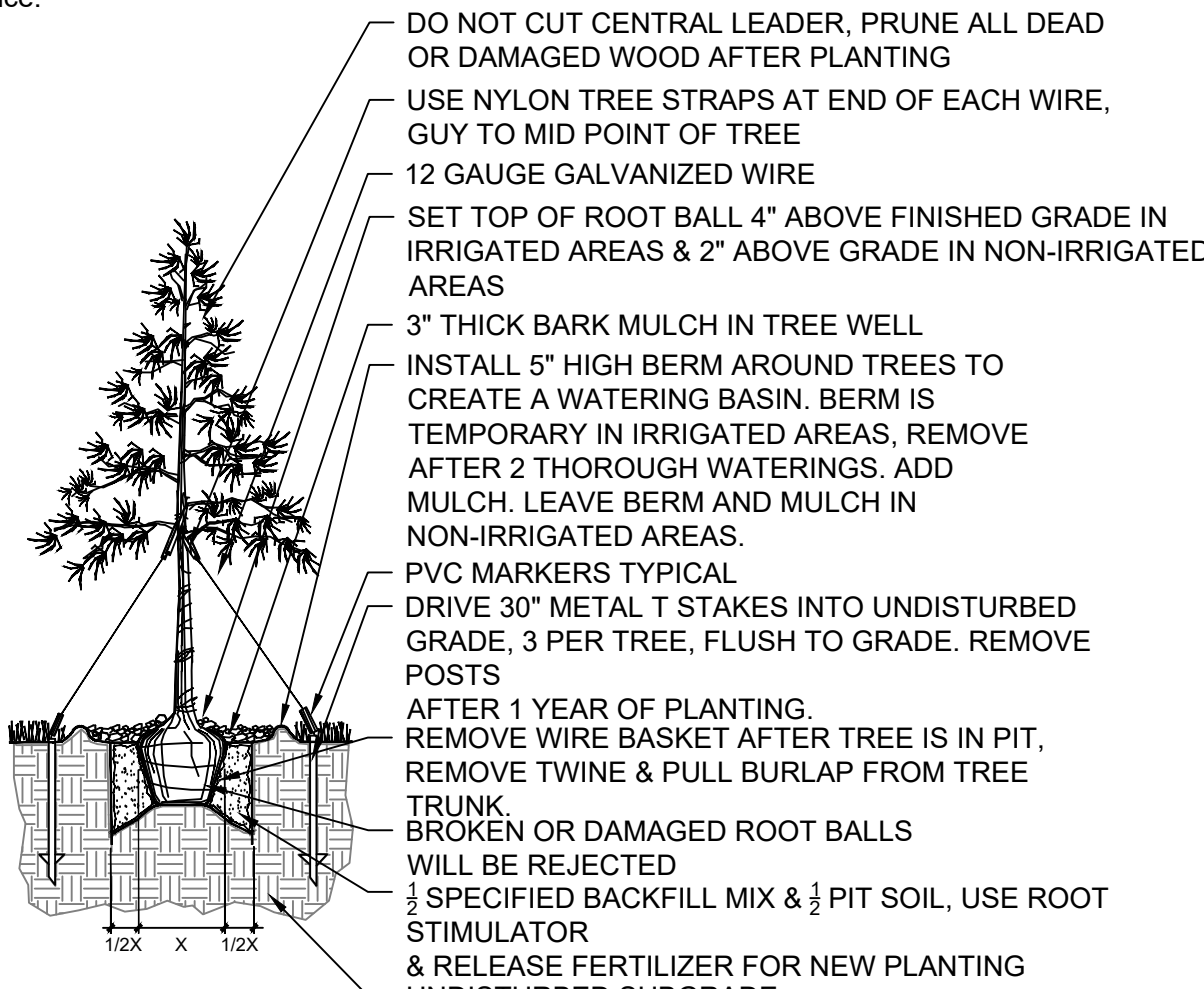
Plant Schedule & Legend

QUAN.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION	WATER USE	MATURE SIZE
DECIDUOUS SHADE TREES							
2	SMH	Shademaker Honeylocust	Gleditsia triacanthos inermis	2" caliper	b&b	low	45'x40'
ORNAMENTAL TREES							
5	CHP	Chanticleer Pear	Pyrus calleryana 'Chanticleer'	1.5" caliper	b&b	medium	35'x25'
EVERGREEN TREES							
8	CBP	Compact Gem Bosnian Pine	Pinus leucodermis 'compact gem'	6' ht.	b&b	low	12'x8'
DECIDUOUS SHRUBS							
18	NMP	New Mexico Privet	Forestiera pubescens	5 gal.	container	low	8'x6'
115	DFS	Dwarf Fragrant Sumac	Rhus aromatica 'Gro-low'	5 gal.	container	low	3'x6'
19	POT	Gold Finger Potentilla	Potentilla fruticosa 'Gold Finger'	5 gal.	container	low	3'x3'
18	DKL	Dwarf Koren Lilac	Syringa meyeri 'Palibin'	5 gal.	container	low	4'x4'
57	GFS	Goldflame Spirea	Spiraea japonica 'Goldflame'	5 gal.	container	low	3'x3'
ORNAMENTAL GRASSES							
41	MLM	Morning Light Maiden Grass	Miscanthus sinensis 'Morning light'	1 gal.	container	medium	4'x3'
74	BLU	Blonde Ambition Grama	Bouteloua gracilis 'Blonde Ambition'	1 gal.	container	low	3'x2'
PERENNIALS							
40	ICE	Purple Ice Plant	Coreopsis verticillata 'Moonbeam'	1 gal.	container	low	2'x2'
59	COR	Moonbeam Coreopsis	Coreopsis verticillata 'Moonbeam'	1 gal.	container	low	2'x2'
40	DAY	Diva's Choice Daylily	Hemerocallis spp 'Diva's Choice'	1 gal.	container	low	2'x3'
58	LAV	Hidcote Lavender	Lavender angustifolia 'Hidcoote '	1 gal.	container	low	2'x3'
24	SAL	May Night Salvia	Salvia x sylvestris 'May Night'	1 gal.	container	low	2'x3'

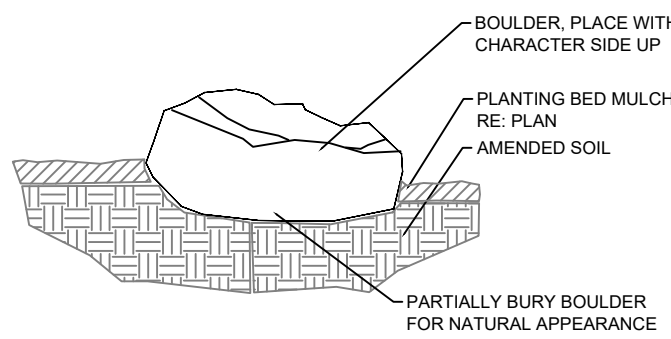
NOTE: In event of a discrepancy between the plan graphic and the landscape plan, the plant material quantity as determined by the plan graphic shall take precedence.



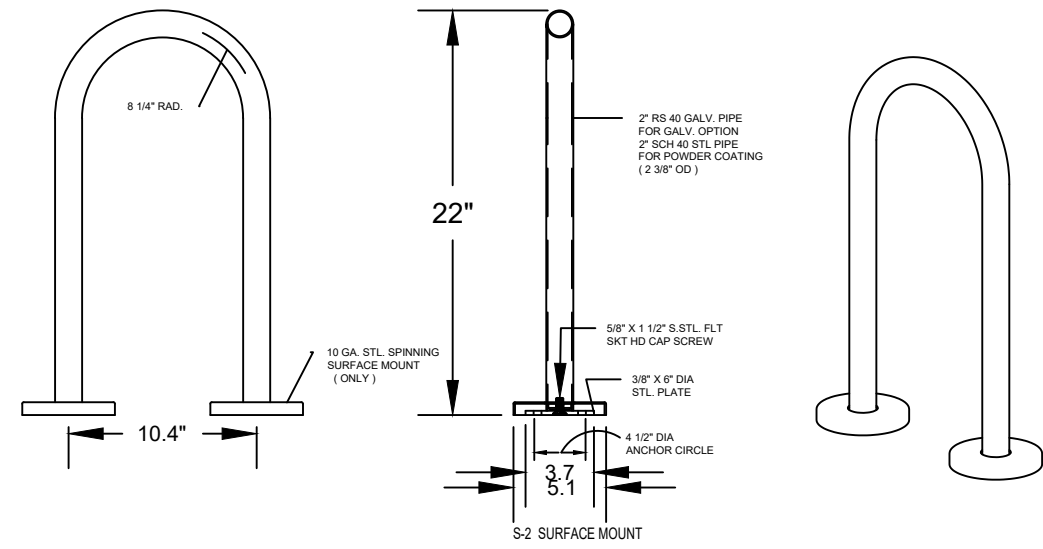
1
6 Deciduous Tree Planting Detail



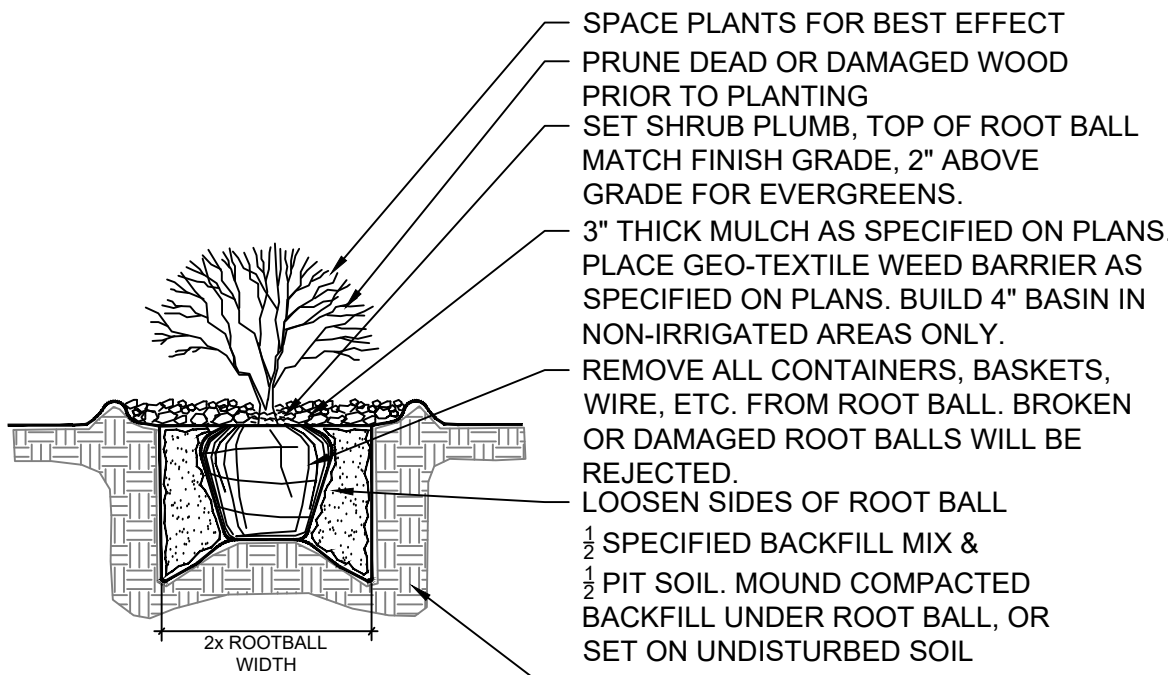
2
6 Evergreen Tree Planting Detail



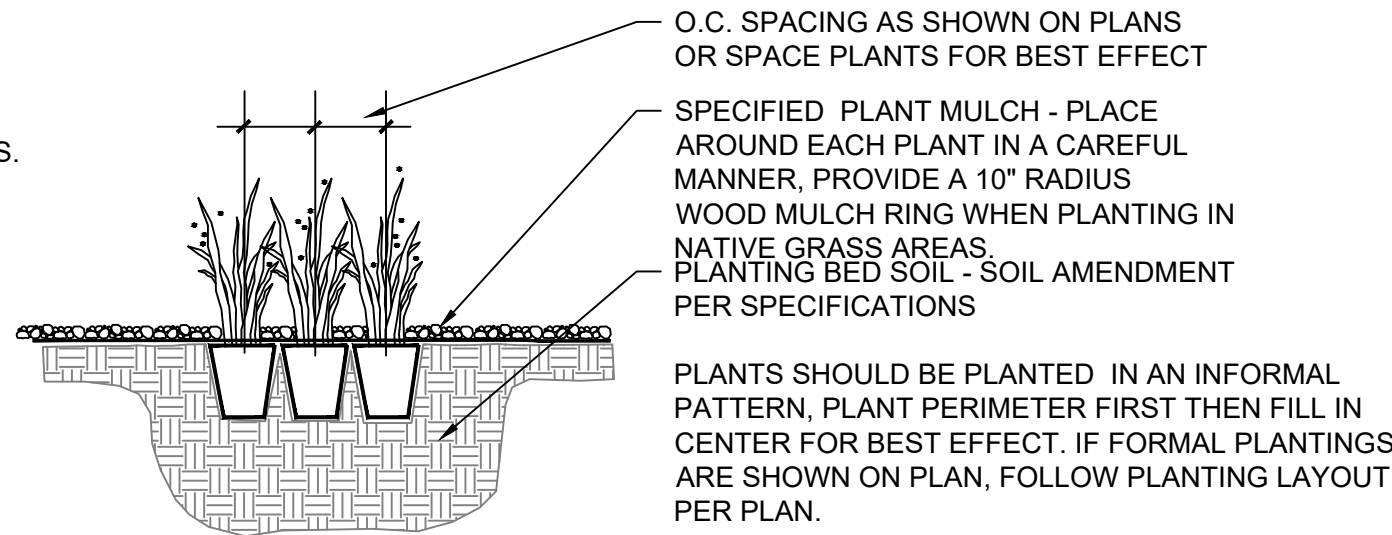
5
6 Boulder Placement Detail
Boulders to be minimum 2'x3' size



6
6 Bike Rack Detail
DuMar, Inc.
Bike Rack 83 - Black powder coat finish, surface mounted. Mount per manufacturers recommendations.



3
6 Shrub Planting Detail



4
6 Perennial/Grass Planting Detail

General Landscape Notes

1. ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
2. THE OWNER, SUCCESSORS, AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLANS ON FILE WITH THE CITY PLANNING DEPARTMENT. ALL LANDSCAPING SHALL BE INSTALLED AS SHOWN ON THE LANDSCAPE PLANS PRIOR TO THE ISSUANCE FOR THE CERTIFICATE OF OCCUPANCY.
3. CONTRACTOR SHALL VERIFY (CALL FOR UTILITY LOCATES) LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING.
4. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY SETTLING DUE TO EXCAVATION AND TRENCHING.
5. CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ADJACENT PROPERTY'S AMENITIES/ IMPROVEMENTS, UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE DUE TO PROJECT'S CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIR TO UTILITIES, ADJACENT LANDSCAPE, AND THE SUBCONTRACTOR'S OPERATIONS DURING CONSTRUCTION AND/ OR THE SPECIFIED MAINTENANCE PERIOD. THE CONTRACTOR SHALL FULLY COMPENSATE THE OWNER FOR ANYTHING DISTURBED AND/ OR DESTROYED THAT IS NOT DESIGNATED FOR DEMOLITION.
7. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
8. SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
9. ALL LANDSCAPE AREAS SHALL RECEIVE SOIL PREPARATION AT A RATE OF (3) THREE CUBIC YARDS PER 1,000 SQUARE FEET. PRIOR TO LANDSCAPE INSTALLATION A SOILS TEST SHALL BE PERFORMED TO DETERMINE THE SPECIFICS OF THE SOIL AMENDMENT FOR TURF AREAS.
10. STEEL EDGER SHALL BE PROVIDED AROUND ALL PLANTING BEDS ADJACENT TURF AREAS. EDGER SHALL BE GALVANIZED STEEL, ROLLED TOP EDGE, AND INTERLOCKING. EDGER IS NOT NECESSARY ADJACENTLY-PARALLEL TO CURBS, WALLS, AND WALKS.
11. ALL PLANTING BEDS SHALL BE MULCHED AS SHOW ON PLANS. COMMERCIAL GRADE WEED BARRIER IN ALL ROCK MULCH BEDS. APPLY A PRE-EMERGENT HERBICIDE IN BED AREAS.
12. ALL PLANTS OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM, UNLESS OTHERWISE NOTED. ALL PLANTS SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK."
13. ALL PLANTS SHALL BE PLANTED USING AN EQUALLY SPACED TRIANGULAR PATTERN, UNLESS OTHERWISE NOTED AND/ OR SHOWN ON THE LANDSCAPE DRAWINGS.
14. CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/ OR THE CITY/ COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE OR REPAIR.
15. THE FINAL LOCATION OF ALL PLANTS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
16. CONTRACTOR SHALL PROVIDE AT LEAST A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL FROM THE DATE OF FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT, OWNER, OR CITY/ COUNTY.
17. ALL TURF AREAS (SOD) SHALL BE SPRAY IRRIGATED. ALL PLANTING BEDS AND TREES SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM. IRRIGATION TO BE DESIGN BUILD AND RETRO FITTED AS NEEDED BY CONTRACTOR.

General Maintenance Notes

A. Weed Control:
All areas within the specified maintenance areas shall be kept free of weeds. Weeding may be done manually or by the use of herbicides.

IRRIGATION
Contractor will be expected to energize the system in the spring, winterize in the fall, adjust heads as needed, repair breaks in a timely manner and prevent any interruptions in the watering cycles for all landscaping. Per Section 2709.01.6

TREE, SHRUB & PLANT CARE
A. Pruning:
All trees, shrubs and plant material shall be maintained by the contractor to ensure the health, vigor and aesthetic appearance according to accepted horticultural practices.
B. Weed Control:
All shrub beds, annual and perennial plant beds, tree bowls, rock beds and pattern concrete shall be kept free from weeds at all times. Weed control shall be done on a weekly basis.
C. Litter Removal:
All areas shall have trash and undesirable debris picked up once per week and prior to all mowing, trimming or edging operations.
D. Winter Snow Removal on Sidewalks:
Snow removal shall be performed on all sidewalks with any accumulation of snow. Snow removal will occur within 24 hours after the snow fall.

City of Castle Pines Notes

If any transformers, ground-mounted HVAC units, utility pedestals, and similar features are not shown on the SIP, additional landscaping and screening may be required based upon field conditions during the site inspection prior to the issuance of the certificate of occupancy, or final inspection, as applicable.

Landscaping shall be planted and maintained by the owner, successor, and/or assigns. Should any plant material die, it shall be replaced with similar plant material within one planting season.

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LOCATED IN THE SW 1/4, SEC. 3, T7S, R67W, 6TH P.M.
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0.71 ACRES
SITE IMPROVEMENT PLAN - SIP-2026-002



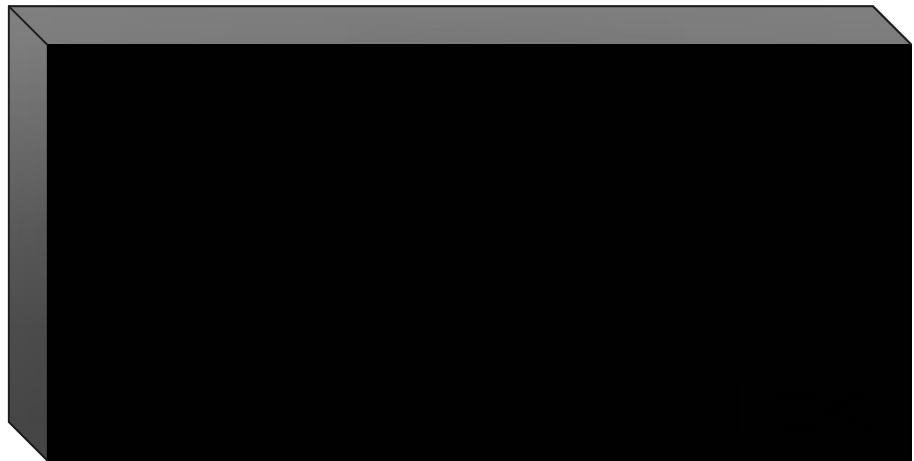
** RENDERING **
ADVANCE AUTO PARTS
JOB NO. 25013
DATE: August 05, 2026
SHEET 8 OF 11



29833 Santa Margarita Pkwy, Suite 300
Rancho Santa Margarita, CA 92688
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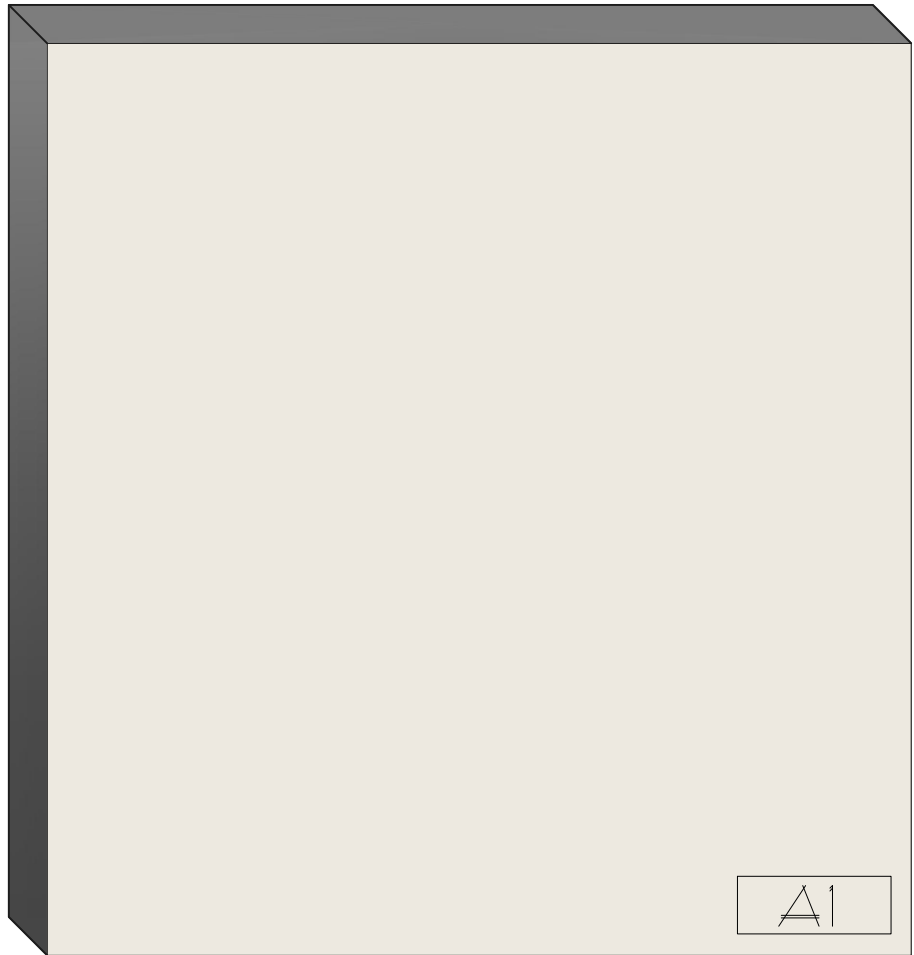
LAGAE FAMILY TRUST MINOR DEVELOPMENT , LOT 5
LOCATED IN THE SW 1/4, SEC. 3, T7S, R67W, 6TH P.M.
CITY OF CASTLE PINES, COUNTY OF DOUGLAS, STATE OF COLORADO
0.71 ACRES
SITE IMPROVEMENT PLAN - SIP-2026-002



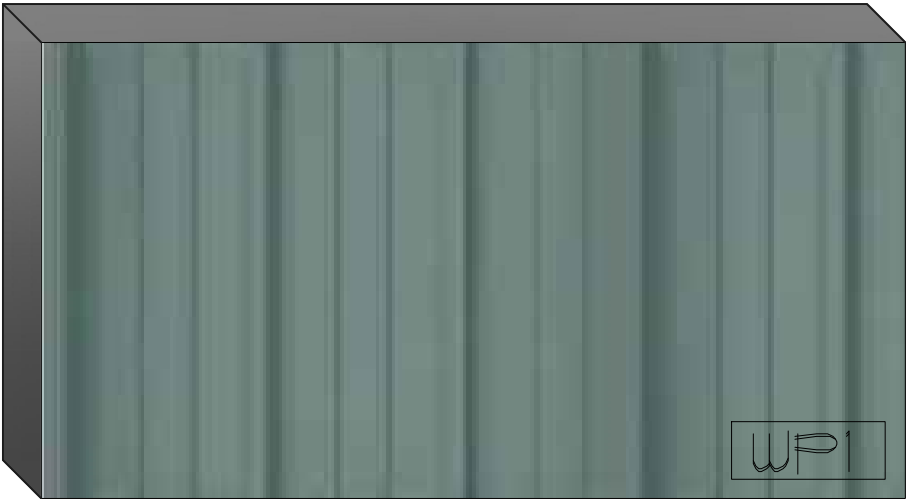
(BK)
ADVANCE AUTO PART EXTERIOR PAINT COLOR
BLACK
HEX COLOR CODE: # 000000



(YI)
ADVANCE AUTO PART EXTERIOR PAINT COLOR
SHERWIN WILLIAMS
FUN YELLOW - SW 6908



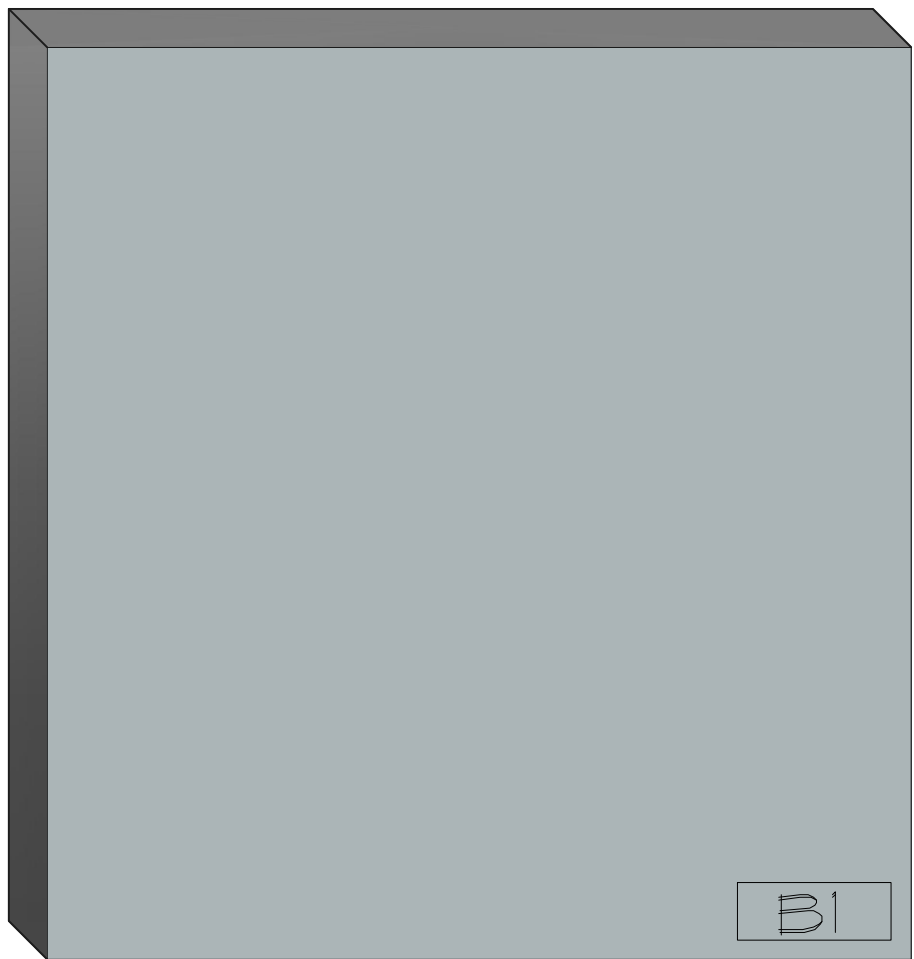
(AI)
ADVANCE AUTO PART EXTERIOR PAINT COLOR
SHERWIN WILLIAMS
ALABASTER - SW 1008



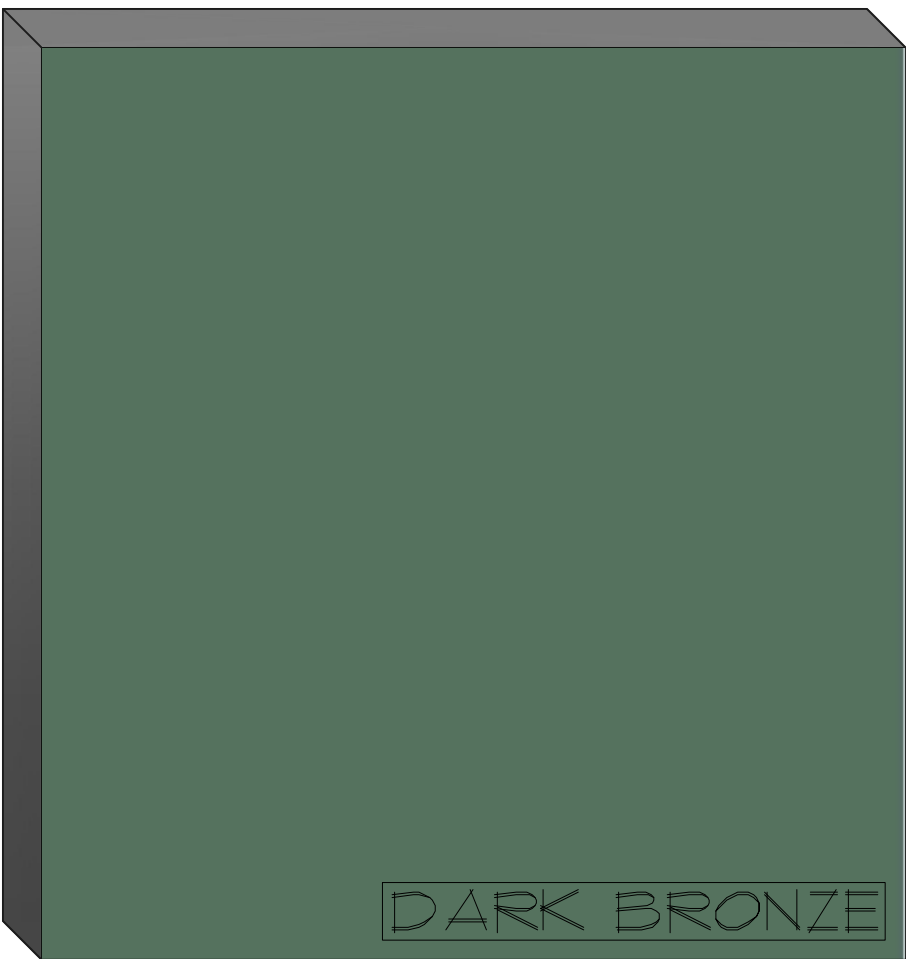
(WPI)
STANDING SEAM AWNING
COLOR: IVY GREEN



FOR REFERENCE - SHOWING FINAL LOOK



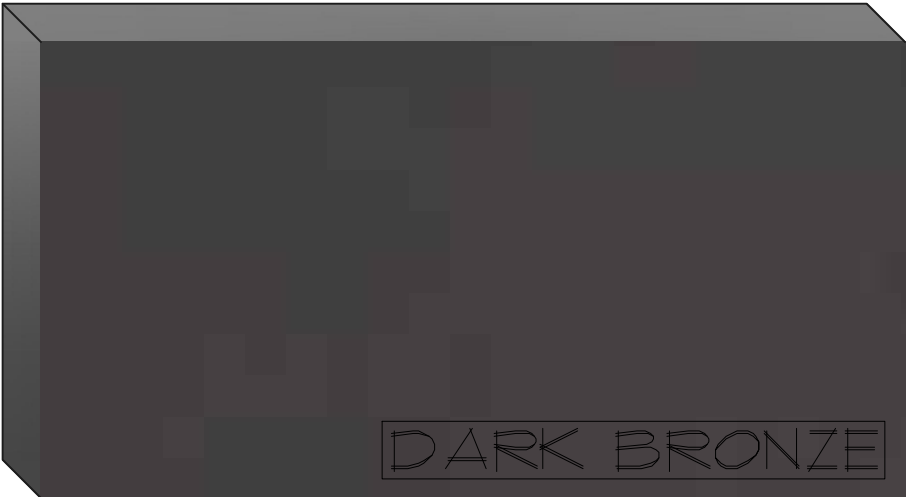
(BI)
ADVANCE AUTO PART EXTERIOR PAINT COLOR
SHERWIN WILLIAMS
JUBILEE - SW 6248



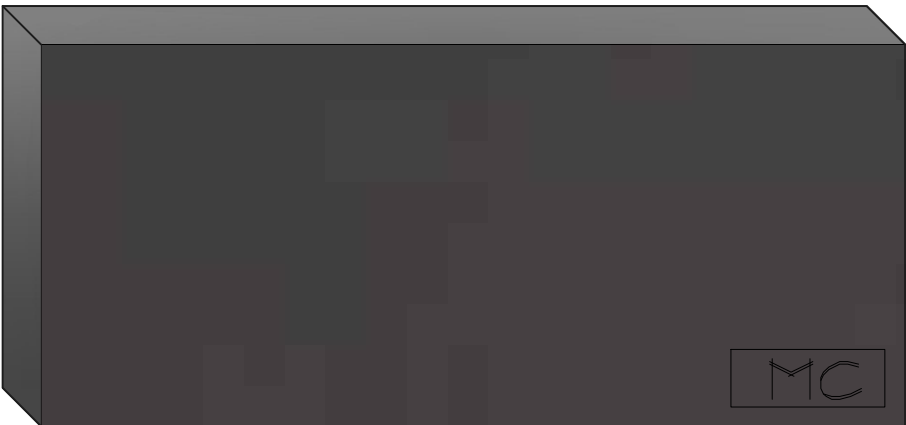
METAL AWNING OVER ENTRY DOOR
COLOR: IVY GREEN



(SI)
ARRISCRAFT WALL STONE
CAPE COD COASTAL - THIN FLAT



FAUX WINDOW WITH LOW- REFLECTED GLAZING.
DARK BRONZE FRAME - MATT FINISH

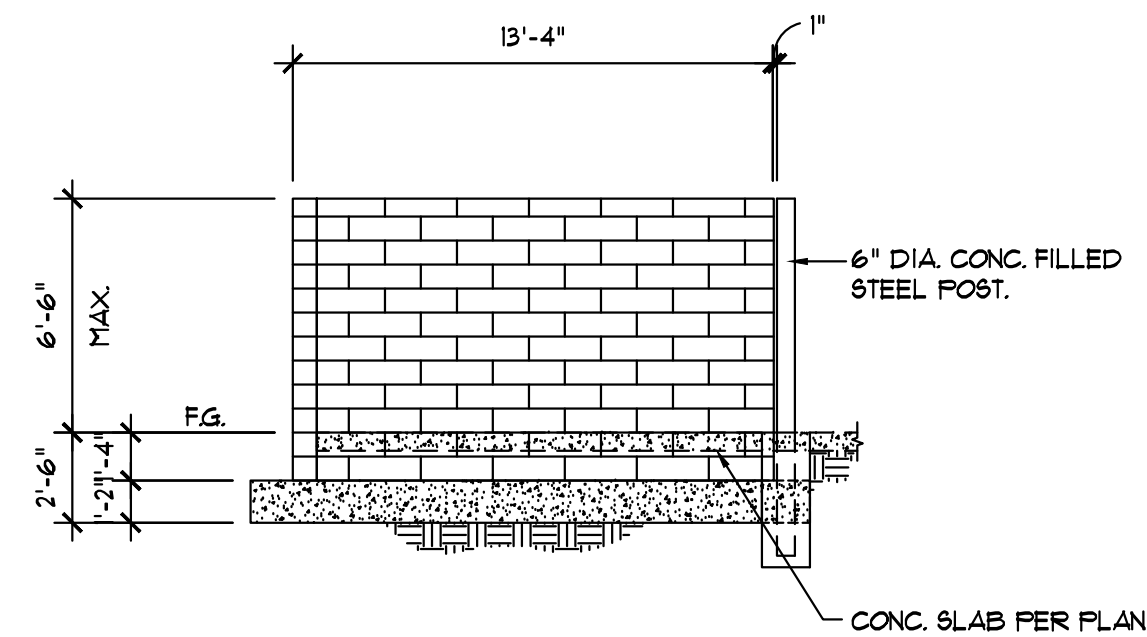


(MC)
METAL PRECAST CAP
BM SPRING LOADED COPING
COLOR: DARK BRONZE - MATT FINISH

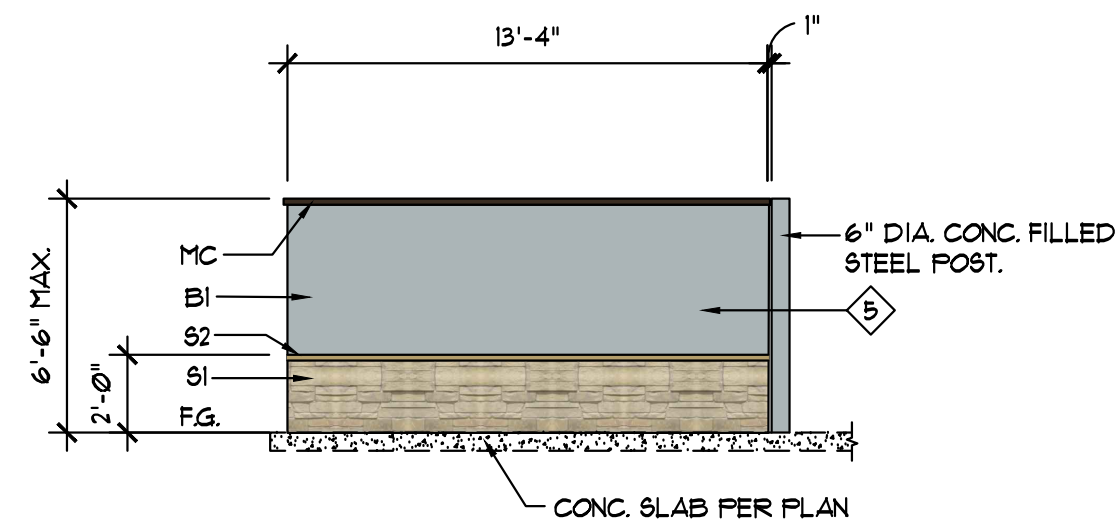
**** MATERIAL BOARD ****
ADVANCE AUTO PARTS
JOB NO. 25013
DATE: August 05, 2026
SHEET 9 OF 11



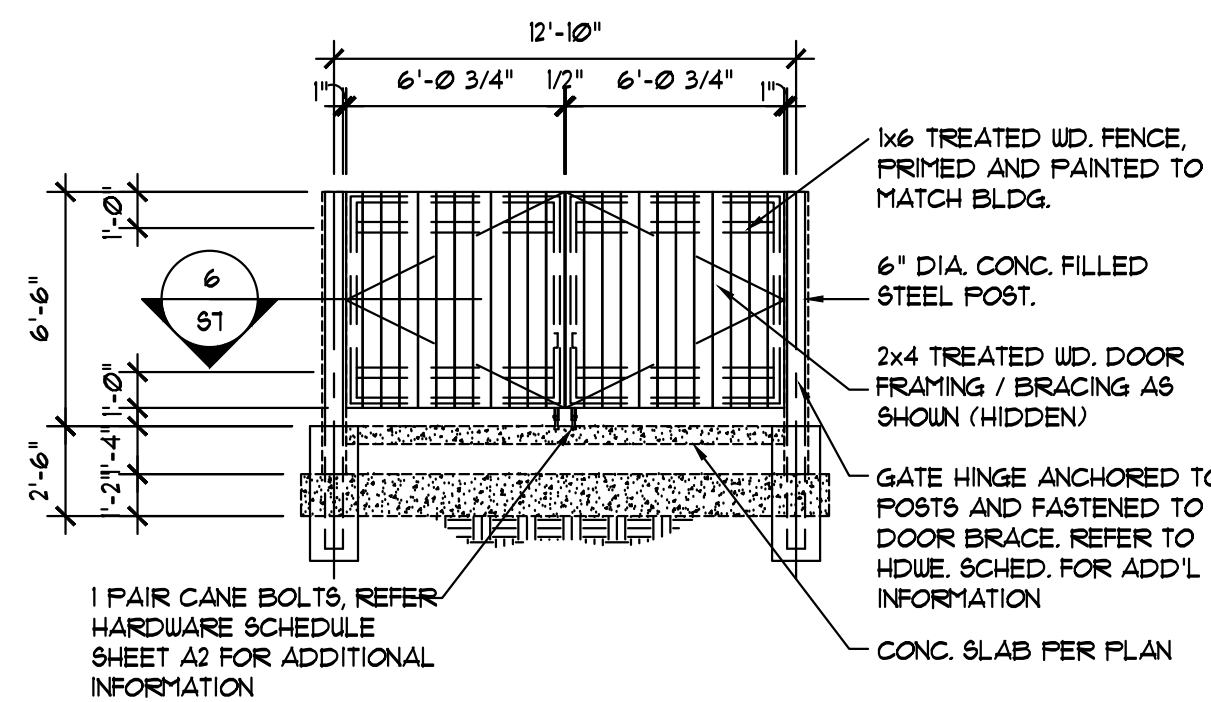
LAGAE FAMILY TRUST MINOR DEVELOPMENT , LOT 5
LOCATED IN THE SW 1/4, SEC. 3, T7S, R67W, 6TH P.M.
CITY OF CASTLE PINES, COUNTY OF DOUGLAS, STATE OF COLORADO
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SITE IMPROVEMENT PLAN - SIP-2026-002



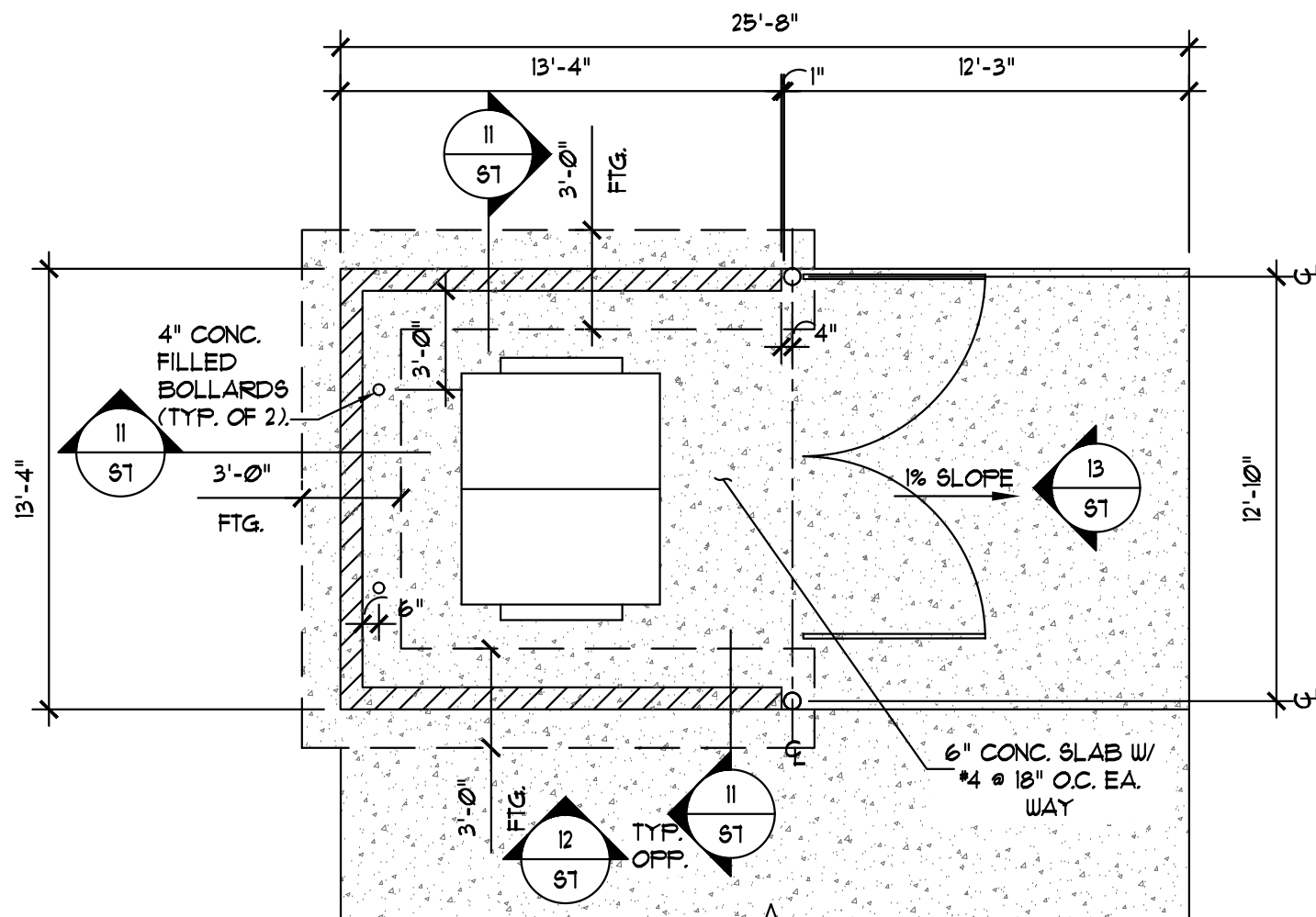
12 DUMPSTER ELEVATION
57 SCALE: 3/16" = 1'-0"



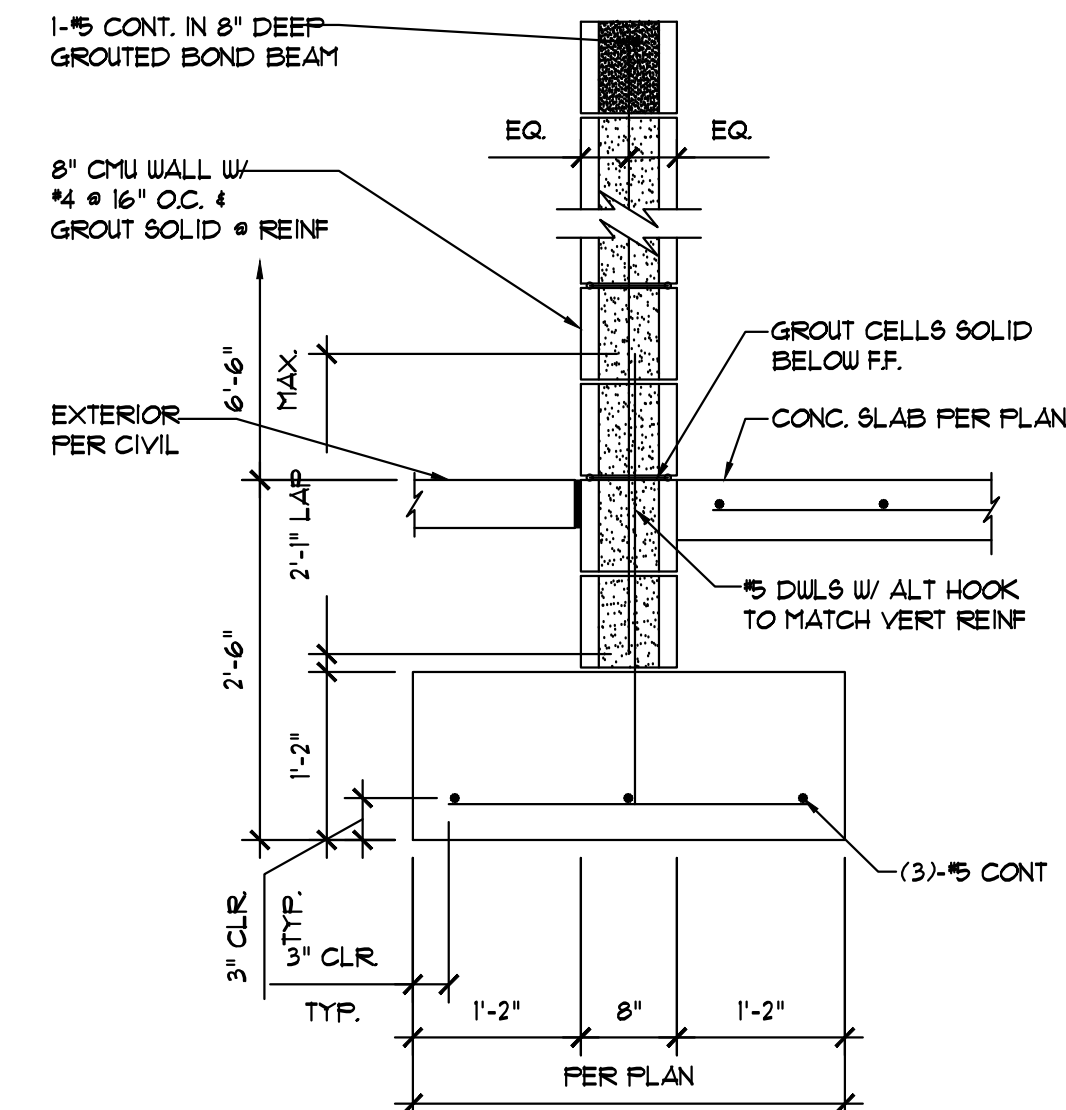
10 COLORED DUMPSTER ELEVATION
51 SCALE: 3/16" = 1'-0"



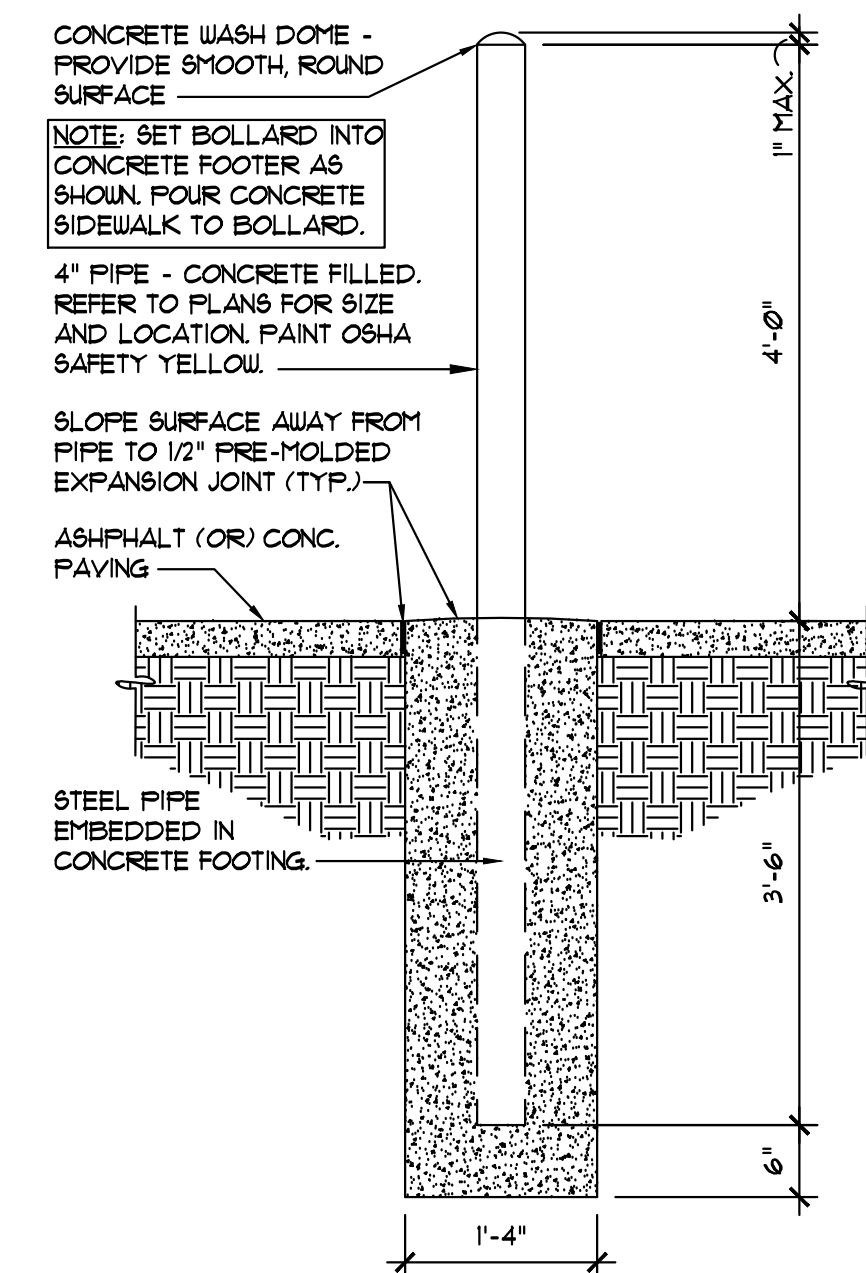
13 DUMPSTER GATE ELEVATION
57 SCALE: 3/16" = 1'-0"



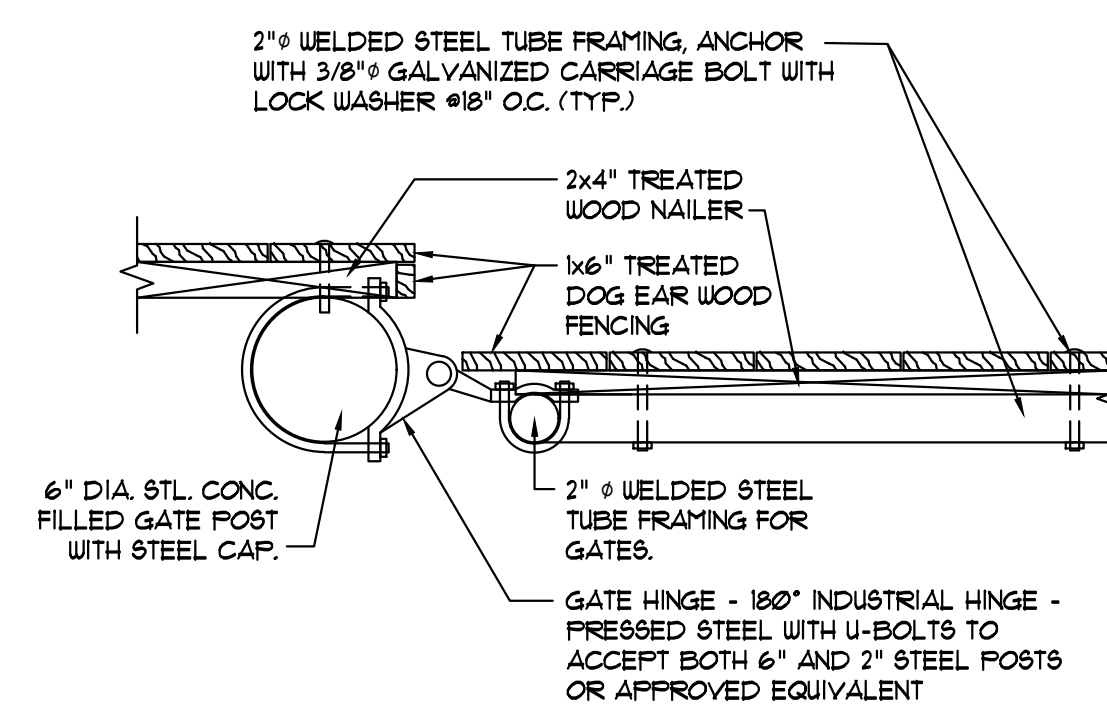
9 TYPICAL PAD LAYOUT
51 SCALE: 3/16" = 1'-0"



SECTION
SCALE: 3/4" = 1'-0"



5 TYPICAL BOLLARD DETAIL
SH-8 SCALE: 3/4" = 1'-0"



6 SECTION AT GATE POST
SH-8 SCALE: 1 1/2" = 1'-0"

1. GENERAL CONCRETE NOTES:
RIGID PAVEMENT CONSISTS OF CONSTRUCTING A SPECIFIED PORTLAND CEMENT CONCRETE PAVING ON A PREPARED SUBGRADE, THE UTILITIES AND OTHER ITEMS IN AND BENEATH THE STREETED SHALL BE PROPERLY COORDINATED WITH THE CONSTRUCTION OF RIGID PAVEMENT TO AVOID CONFLICTS, THE WORK TO BE DONE SHALL INCLUDE THE FURNISHING OF ALL SUPERVISION, LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS NECESSARY FOR THE PROPOSED RIGID PAVEMENT CONSTRUCTION IN ACCORDANCE WITH THE APPROVED DRAWINGS AND SPECIFICATIONS.
2. CONCRETE STRENGTH REQUIRED:
ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 (PCI) PSI AT 28 DAYS. CONFORMANCE TO STRENGTH REQUIREMENTS SHALL BE DETERMINED BY ACI STANDARD 318, LATEST EDITION, SECTIONS 4.2.3 AND 4.2.3.

MATERIAL SCHEDULE		
MATERIAL:	EXTERIOR PAINT/ FINISH	LOCATION:
B1	SHERWIN WILLIAMS JUBILEE SW 6248	EXTERIOR STUCCO OVER SMOOTH FACE CMU WALLS, METAL, METAL DOORS
S1	WALL STONE	WALL STONE - ARRISCRRAFT - CAPE COD COASTAL THIN FLAT
S2	EDGE TRIM STONE	EDGE TRIM STONE - ARRISCRRAFT - MATCH WITH CAPE COD COASTAL THIN FLAT
MC	METAL PRECAST CAP	COLOR: DARK BRONZE

1. GUARDRAILS AND HANDRAILS SHALL BE THE PRODUCT OF A COMPANY NORMALLY ENGAGED IN THE MANUFACTURE OF PIPE RAILING. RAILING SHALL BE SHOP ASSEMBLED IN LENGTHS NOT TO EXCEED 24 FEET FOR FIELD ERECTION.
2. THE HANDRAIL SHALL BE MADE OF PIPES JOINED TOGETHER WITH COMPONENT FITTINGS. SAMPLES OF ALL COMPONENTS, BASES, TOEBOARD AND PIPE MUST BE SUBMITTED FOR APPROVAL AT THE REQUEST OF THE ENGINEER. COMPONENTS THAT ARE POP-RIVETED OR GLUED AT THE JOINTS WILL NOT BE ACCEPTABLE. ALL COMPONENTS MUST BE MECHANICALLY FASTENED WITH STAINLESS STEEL HARDWARE.
3. RAILINGS SHALL BE 1 1/2" SCHEDULE 40 ALUMINUM PIPE ALLOY 6105-T5, ASTM-B-423 OR ASTM-B-221. POST SHALL BE 1 1/2" SCHEDULE 40 ALUMINUM PIPE OF THE SAME ALLOY. POST SPACING SHALL BE A MAXIMUM OF 6'-0".
4. GUARDRAILS AND HANDRAILS SHALL BE DESIGNED TO WITHSTAND A 200LB CONCENTRATED LOAD APPLIED IN ANY DIRECTION AND AT ANY POINT ON THE TOP RAIL.
5. INTERMEDIATE RAILINGS SHALL BE PROVIDED SUCH THAT A 4-INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING.
6. THE MANUFACTURER SHALL SUBMIT CALCULATIONS FOR APPROVAL AT THE REQUEST OF THE ENGINEER. TESTING OF BASE CASTINGS OR BASE EXTRUSIONS BY AN INDEPENDENT LAB OR MANUFACTURER'S LAB (IF MANUFACTURER'S LAB MEETS THE REQUIREMENTS OF THE ALUMINUM ASSOCIATION) WILL BE AN ACCEPTABLE SUBSTITUTE FOR CALCULATIONS. CALCULATIONS WILL BE REQUIRED FOR APPROVAL OF ALL OTHER DESIGN ASPECTS.
7. POSTS SHALL NOT INTERRUPT THE CONTINUATION OF THE TOP RAIL AT ANY POINT ALONG THE RAILING, INCLUDING CORNERS AND END TERMINATIONS (OSHA 1910.23). THE TOP SURFACE OF THE TOP RAILING SHALL BE SMOOTH AND SHALL NOT BE INTERRUPTED BY PROJECTED FITTINGS.
8. THE MID-RAIL AT A CORNER RETURN SHALL BE ABLE TO WITHSTAND A 200LB LOAD WITHOUT LOOSENING. THE MANUFACTURER IS TO DETERMINE THIS DIMENSION FOR THEIR SYSTEM AND PROVIDE PHYSICAL TESTS FROM A LABORATORY TO CONFIRM COMPLIANCE.
9. CONCRETE ANCHORS SHALL BE STAINLESS STEEL TYPE 303 OR 304 WEDGE ANCHORS AND SHALL BE FURNISHED BY THE HANDRAIL MANUFACTURER. THE ANCHOR DESIGN SHALL INCLUDE THE APPROPRIATE REDUCTION FACTORS FOR SPACING AND EDGE DISTANCES IN ACCORDANCE WITH THE MANUFACTURERS PUBLISHED DATA.
10. TOE RAILINGS SHALL BE PROVIDED SUCH THAT A 2-INCH DIAMETER SPHERE CANNOT PASS THROUGH OPENING BETWEEN CURB & RAIL.
11. A SELF-CLOSING GATE SHALL GUARD OPENINGS IN THE RAILING (OSHA 1910.23). SAFETY CHAINS SHALL NOT BE USED UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS.
12. FINISH SHALL BE ALUMINUM ASSOCIATION M10-C22-A41 (Z15-RU). THE PIPE SHALL BE PLASTIC-WRAPPED. THE PLASTIC WRAP IS TO BE REMOVED AFTER ERECTION THEN PAINT AS SCHEDULED.
13. ALUMINUM SURFACES IN CONTACT WITH CONCRETE, GROUT OR DISSIMILAR METALS WILL BE PROTECTED WITH A COAT OF BITUMINOUS PAINT, MYLAR ISOLATORS OR OTHER APPROVED MATERIAL.
14. REFER TO TYPICAL ANSI/ADA DETAILS FOR LOCAL AUTHORITY HAVING JURISDICTION FOR EXTENSIONS & MOUNTING HEIGHTS OF HANDRAILS & COMPLY IN TOTAL.

15 TYP RAILING SPECIFICATION
SH-8 SCALE: NTS

ENLARGED TRASH ENCLOSURE
AND SITE DETAILS
ADVANCE AUTO PARTS
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