

CIVIL CONSTRUCTION PLANS

LAGAE FAMILY TRUST MINOR DEVELOPMENT , LOT 5
LOCATED IN THE SW 1/4, SEC. 3, T7S, R67W, 6TH P.M.
CITY OF CASTLE PINES, COUNTY OF DOUGLAS, STATE OF COLORADO
CASE NO. SIP-2026-002

CALL UNCC
TWO WORKING DAYS
BEFORE YOU DIG
CALL 811
METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO

GENERAL NOTES

- 1) The City Development Review Engineer's signature affixed to this document indicates the City has reviewed the document and found it to generally conform with the City of Castle Pines Roadway Design and Construction Standards, applicable municipal code, and any associated agreement (such as a Development Agreement) or accepted variances to those regulations. Through acceptance of this document, the City assumes no responsibility, other than stated previously, for the completeness and accuracy of these documents. The Owner and engineer understand that the responsibility for the engineering adequacy of the facilities depicted in this document lies solely with the PE registered in the State of Colorado whose stamp and signature are affixed to this document.
- 2) All construction shall conform to City Standards. Any construction not specifically addressed by these Roadway Standards and specifications will be built in compliance with the latest edition of the most stringent of the following:
- a) The City of Castle Pines Roadway Design and Construction Standards
 - b) The Colorado Department of Highways Standard Specifications for Road and Bridge Construction
 - c) The Colorado Department of Transportation (CDOT) Miscellaneous and Safety (M&S) Standards
- 3) All materials and workmanship shall be subject to inspection by the City as applicable. The City reserves the right to accept or reject any such materials and workmanship that do not conform to its Standards and Specifications.
- 4) The Contractor shall notify the City Public Works Department a minimum of 24 hours and a maximum of 72 hours prior to starting construction of elements that require review and inspection. Notification shall consist of the Contractor's contacting the City Public Works Department and receipt of acknowledgment by the City. The Contractor shall notify the City when working outside of the public right-of-way on any facility that will be conveyed to the City, Mile High Flood District (MHFD), or other special districts for maintenance (storm sewer, energy dissipaters, detention outlet structures, or other drainage infrastructures). Failure to notify the City to allow inspection of the construction may result in non-acceptance of the facility or infrastructure by the City, MHFD, or relevant agency.
- 5) Construction shall not begin until all applicable Permits have been issued. If a City Inspector is not available after proper notice of construction activity has been provided, the Permittee may commence work in the Inspector's absence. However, the City reserves the right not to accept the improvement if subsequent testing reveals an improper installation.
- 6) The location of existing utilities shall be verified by the Contractor prior to actual construction.
- 7) The Contractor shall have one copy of the Plans signed by the City, one copy of the Roadway Design and Construction Standards, latest version, and all applicable Permits at the job site at all times.
- 8) All proposed street cuts to existing pavements for utilities, storm sewer, or for other purposes are listed and referenced here:

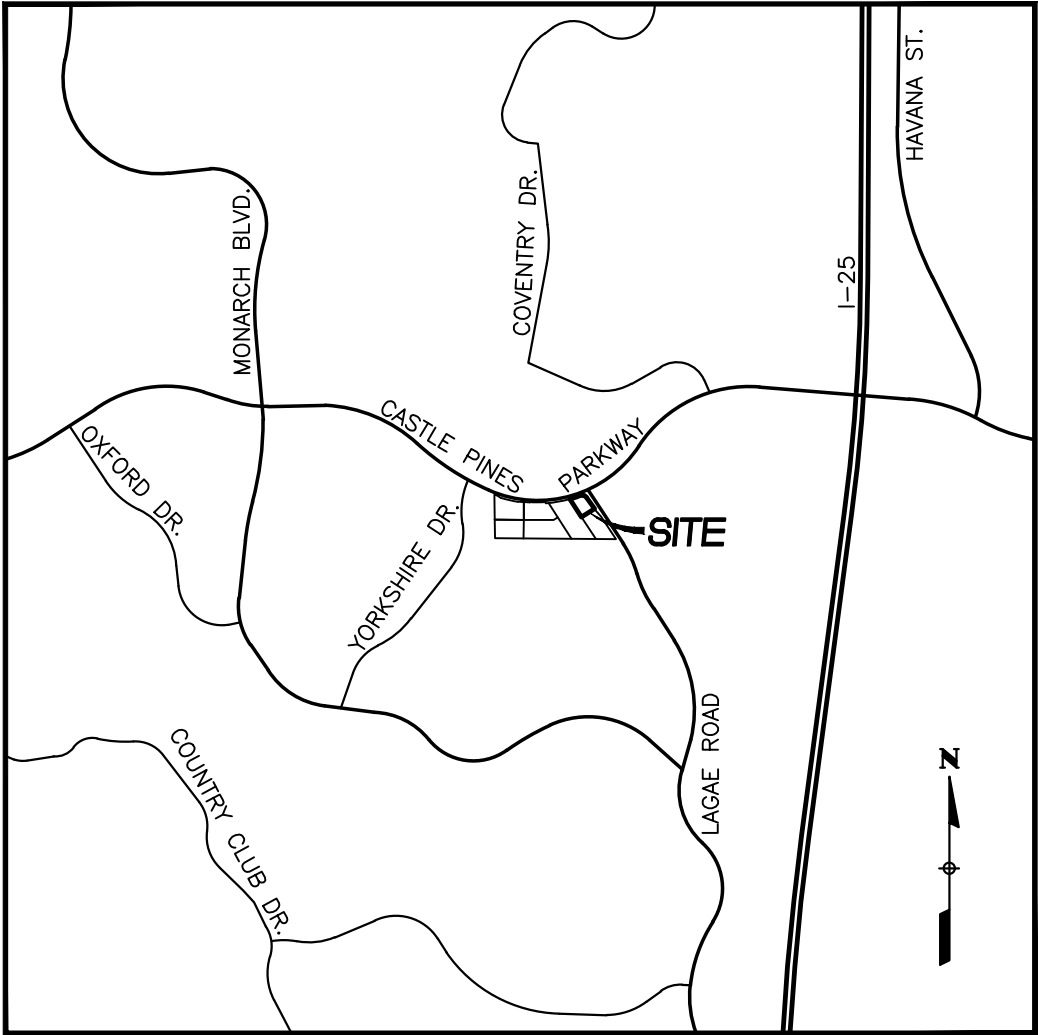
- Examples: Water tie-in Sheet 3
Storm sewer Connection Sheet 6
- 9) A Traffic Control Plan, in accordance with the *Manual on Uniform Traffic Control Devices for Streets and Highways* (MUTCD), shall be submitted to the City for acceptance with the Right-of-Way Permit Application. A Right-of-Way Permit will not be issued without an accepted Traffic Control Plan for traffic control during construction. Exceptions can be made by the City Public Works Department if construction does not include traffic control.
- 10) The Construction Plans shall be considered valid for 2 years from the date of City acceptance, after which time, these plans shall be void and will be subject to re-review and re-acceptance by City.
- 11) City of Castle Pines Standard Details shall not be modified. Any nonstandard details will be clearly identified as such.
- 12) Paving, including construction of curb and gutter (when used), shall not start until a Pavement Design Report and subgrade compaction tests are accepted by the City for all public and private roads.
- 13) Standard City Americans with Disabilities Act ramps are to be constructed at all curb returns and at mid-block locations opposite of one of the curb returns of all "T" intersections as identified on the Plans.
- 14) All stationing is based on roadway centerlines unless otherwise noted.
- 15) All elevations are on United States Coast and Geodetic Survey (USC&GS) (NAVD-88) DATUM with date. The Range Point or Monuments shall be shown on construction drawings.
- 16) All storm sewer improvements (public and private), including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, riprap, detention basins, forebays, micro-pools, and water quality facilities, require Permitting and inspections. Please contact the City Public Works Department for inspection scheduling.
- 17) Two manhole access points are required on all type "R" curb inlets greater than or equal to 10 feet in length.
- 18) Epoxy-coated rebar is required on all drainage structures.
- 19) The City requires Class D concrete for all drainage structures.
- 20) All reinforced concrete pipe (RCP) storm sewers must use ASTM International (ASTM) C443 watertight gaskets per the current City and MHFD design criteria.
- 21) All RCP shall be Class III storm sewer pipe, unless otherwise specified.
- 22) Joint restraints are required for a minimum of the last two pipe joints and flared end section of an RCP outfall.
- 23) Toe walls are required on flared end sections at the outlet end of culverts and storm sewer outfalls.
- 24) Filter fabric is required under all riprap pads.
- 25) The PE registered in the State of Colorado who signs these plans is responsible for confirming that the details included are compatible with the standard City details contained in the latest versions of the criteria manuals. These include, but are not limited to, the following:
- a) City of Castle Pines Roadway Design and Construction Standards
 - b) Douglas County Storm Drainage Design and Technical Criteria
 - c) City of Castle Pines Grading, Erosion and Sediment Control Manual
 - d) CDOT M&S Standards
 - e) MUTCD
 - f) MHFD Criteria Manual
- 26) A Temporary Construction Access Permit from the City may be required for any project.

If roadways are to be dedicated on the Final Plat to an entity other than the City, then the following statement shall be included with the Standard Notes:

"27. The City of Castle Pines shall not be responsible for the maintenance of roadway and appurtenant improvements, including sidewalk and storm drainage infrastructure, for the following private streets: (*List street names*)"

2.6.5 Acceptance Block

The Acceptance Block shall be located in the lower right-hand corner of each sheet, except for sheets that have only Castle Pines Standard Details (refer to Figure 2-1).



VICINITY MAP
SCALE: 1"=2000'

SIGNAGE AND STRIPING NOTES

- A. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE "COLORADO SUPPLEMENTAL MUTCD", THE DOUGLAS COUNTY "ROADWAY DESIGN AND CONSTRUCTION STANDARDS MANUAL", AND THE "DOUGLAS COUNTY SIGNAGE AND STRIPING SUPPLEMENT". FURTHER SPECIFICATIONS AND ILLUSTRATIONS ARE LOCATED IN THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) "M AND S STANDARDS".
- B. A FIELD INSPECTION OF LOCATION AND INSTALLATION OF ALL SIGNS & MARKINGS SHALL BE PERFORMED BY THE CITY OF CASTLE PINES. ALL DISCREPANCIES IDENTIFIED DURING THE FIELD INSPECTION MUST BE CORRECTED BEFORE THE TWO-YEAR WARRANTY PERIOD WILL BEGIN.
- C. THE CONTRACTOR INSTALLING SIGNS SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES.
- D. TYPE III LIGHTED BARRICADES SHALL BE SET AT ENDS OF ROADWAYS, SEPARATING ACCEPTED) AND UNFINISHED CONSTRUCTION AREAS AND SHALL BE MAINTAINED BY THE CONTRACTOR/DEVELOPER. A "ROAD CLOSED AHEAD" WARNING SIGN SHALL BE INSTALLED APPROPRIATELY IN ADVANCE OF THE TYPE III BARRICADES.
- E. SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATION TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
- F. WHERE STOP SIGN CONTROL IS APPROPRIATE, 36" STOP SIGNS SHALL BE USED FOR APPROACHES TO ANY ROADWAY THAT IS CLASSIFIED AS A COLLECTOR OR GREATER.
- G. A 7-FOOT MINIMUM HEIGHT SHALL BE MAINTAINED FROM BOTTOM OF SIGN PANEL TO THE TOP GRADE OF SIDEWALK (AT TOP GRADE OF PAVEMENT EDGE WHERE NO SIDEWALK EXISTS).
- H. DELINEATION OF ROADWAYS WITHOUT CURB AND GUTTER SHALL BE AS SPECIFIED IN THE CDOT "M AND S STANDARDS". SEE (SS-7) FOR RAISED MEDIAN SIGNS AND DELINEATION.
- I. SIGNAGE AND STRIPING HAS BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW. PRIOR TO INITIATION OF THE WARRANTY PERIOD, THE CITY OF CASTLE PINES RESERVES THE RIGHT TO REQUIRE MODIFICATIONS TO EXISTING, OR INSTALLATION OF, ADDITIONAL SIGNAGE AND/OR PAVEMENT MARKING IF IT IS DETERMINED THAT AN UNFORESEEN SAFETY CONDITION WARRANTS SUCH MODIFICATION ACCORDING TO THE MUTCD OR THE CDOT M AND S STANDARDS. ALL SIGNAGE AND STRIPING SHALL FALL UNDER THE REQUIREMENTS OF THE TWO (2) YEAR WARRANTY PERIOD FOR NEW CONSTRUCTION. ADDITIONALLY, ALL PAVEMENT MARKINGS SHALL NOT LIFT OR PEEL DURING THE FIRST YEAR AFTER INSTALLATION.
- J. DIAMOND GRADE MATERIAL SHALL BE USED ON ALL STOP SIGNS AND OVERHEAD SIGNS. ALL OTHER ROADSIDE TRAFFIC CONTROL DEVICES SHALL BE HIGH INTENSITY PRISMATIC RETROREFLECTIVE.
- K. ALL PUBLIC ROAD STREET NAME SIGNS SHALL HAVE THE CITY OF CASTLE PINES LOGO ON LEFT SIDE OF SIGN.
- L. ALL REMOVED SIGNS SHALL BE RETURNED TO THE CITY OF CASTLE PINES.
- M. CROSSWALKS: SHALL BE CONSTRUCTED OF MATERIAL SPECIFIED BY THE CITY OF CASTLE PINES.
- SHALL BE "LONGITUDINAL" TYPE.
- SHALL LINE UP WITH HANDICAP RAMPS.
- SHALL BE CENTERED ON LANE LINES SO AS TO BE STRADDLED BY VEHICLES.
- N. ALL PAVEMENT MARKING MATERIAL (INCLUDING WORDS AND SYMBOLS) SHALL BE AS FOLLOWS:
- METHYL-MYTHACRALATE (MMA), EPOXY PAINT, HOT APPLIED THERMOPLASTIC (90 MIL), INLAY TAPE (STAMARK OR APPROVED EQUIVALENT), WATERBORN TRAFFIC PAINT (PER CDOT SPECIFICATIONS) OR AS SPECIFIED BY ENGINEER. INLAY TAPE IS THE ONLY APPROPRIATE MATERIAL FOR USE ON CONCRETE.
- (SAND OR WATER BLAST CURING COMPOUND PRIOR TO INSTALLATION OF MARKINGS)
- O. INSPECTION AND APPROVAL OF STRIPING AND CROSSWALK LAYOUT TO BE DONE BY THE CITY OF CASTLE PINES PRIOR TO APPLICATION OF FINAL STRIPING.

SHEET INDEX

- | | |
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| 2 | SITE PLAN |
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| 4 | SITE ACCESSIBILITY DETAILS |
| 5 | FINAL GRADING PLAN |
| 6 | UTILITY PLAN |
| 7 | STORM SEWER PLAN & PROFILE |
| 8-10 | STANDARD SITE DETAILS |

STORM SEWER NOTES

- EXCEPT WHERE NOTED, ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE, CLASS III AND SHALL CONFORM TO REQUIREMENTS OF ASTM C76. ALL RCP SHALL HAVE RUBBER GASKETED JOINTS AND SHALL CONFORM TO REQUIREMENTS OF ASTM C443 AND SHALL PROVIDE WATERTIGHT PERFORMANCE CHARACTERISTICS.
- TONGUE AND GROOVE JOINTS SHALL NOT BE ALLOWED.
- THE MINIMUM COVERAGE FOR ALL STORM DRAINAGE PIPES SHALL BE 1.5 FEET FOR CLASS III PIPE AND 1 FOOT FOR CLASS IV PIPE.
- ALL MANHOLES SHALL BE CONCRETE AND CONFORM TO CDOT STANDARD M-604-20.
- THE MINIMUM MANHOLE DIAMETER SHALL BE AS SPECIFIED BELOW:
15" TO 18" 4' DIAMETER
21" TO 42" 5' DIAMETER
48" TO AND 54" LARGER 6'
60" BOX DIAMETER BASE MANHOLE
- ALL STREET INLETS SHALL BE CURB OPENING TYPE R, CONFORMING TO CDOT STANDARD M-604-12, EXCEPT WHERE OTHERWISE NOTED.
- WHERE RIPRAP IS CALLED FOR ON THE PLANS FOR EROSION CONTROL, IT SHALL CONFORM TO THE URBAN STORM DRAINAGE CRITERIA MANUAL SPECIFICATIONS (LATEST REVISION).

NOTICE TO CONTRACTOR

- BY ACCEPTING AND UTILIZING THESE PLANS THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSON AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE CIVIL ENGINEER.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, CONDUITS OR OTHER STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED FROM RECORDS MADE AVAILABLE BY THE SERVICE PROVIDER. VERMILION PEAK ENGINEERING ASSUMES NO LIABILITY WHATSOEVER FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO LOCATE AND PROTECT ALL UTILITIES, CONDUITS OR STRUCTURES WHETHER OR NOT SHOWN ON THESE PLANS AND BY ACCEPTING AND UTILIZING THESE PLANS, ASSUMES ALL RESPONSIBILITY FOR THE LOCATION, PROTECTION OF AND ANY DAMAGE TO SAID FACILITIES.
- THE CONTRACTOR SHALL CONTACT VERMILION PEAK ENGINEERING (720-402-6070) PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS, IF ANY DISCREPANCY BETWEEN THE PLANS AND THE EXISTING CONDITIONS ARE DISCOVERED, OR IF ANY ERROR OR OMISSION IS DISCOVERED IN THE PLANS.

BENCHMARK

WEST ¼ CORNER SECTION 3, FOUND 3.25" ALUMINUM CAP PLS 10734 MATCHING MONUMENT RECORD FILED 7/31/17.

BASIS OF BEARINGS

THE EASTERLY LINE OF LOT 5, LAGAE FAMILY TRUST MINOR DEVELOPMENT, BEING MONUMENTED AT THE NORTH END BY A 1.25" YELLOW PLASTIC CAP STAMPED "JEHN ENG. PLS 34580" AND AT THE SOUTH END BY A NAIL AND DISC STAMPED "PLS 34580" ASSUMED TO BEAR S33°59'24"E.

OWNER/DEVELOPER

ADVANCE STORES COMPANY, INC.
4200 SIX FORKS ROAD
RALEIGH, NC 27609
602-622-9707
CONTACT: ADAM SHROYER

LANDSCAPE ARCHITECT

TIM DUNN LANDSCAPE ARCHITECTURE
720-350-2411
CONTACT: TIM DUNN

CIVIL ENGINEER

BRIAN KROMBEIN, PE, PLS
VERMILION PEAK ENGINEERING LLC
1745 SHEA CENTER DRIVE, 4TH FLOOR
HIGHLANDS RANCH, CO 80129
720-402-6070

JURISDICTIONAL AGENCY

CITY OF CASTLE PINES
7437 VILLAGE SQUARE DRIVE, SUITE 200
CASTLE PINES, CO 80108
303-705-0200
CONTACT: LARRY NIMMO

WATER & SEWER PROVIDER

CASTLE PINES NORTH METRO DISTRICT
7404 YORKSHIRE DRIVE
CASTLE PINES, CO 80108
303-688-8550
CONTACT: NATHAN TRAVIS

GAS PROVIDER

XCEL ENERGY
1123 WEST 3RD AVENUE
DENVER, CO 80223
303-285-6612
CONTACT: VIOLETA CIOCANU

ELECTRIC PROVIDER

CORE ELECTRIC COOPERATIVE
5496 US-85
SEDALIA, CO 80135
720-733-5493
CONTACT: BROOKS KAUFMAN

INTERNET PROVIDER

COWCAST
6850 S. TUCSON WAY
CENTENNIAL, CO 80112
719-313-1567
CONTACT: TOD BELL

FIRE DEPARTMENT APPROVAL

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO CASTLE PINES NORTH METROPOLITAN DISTRICT STANDARDS. THE NUMBER OF FIRE HYDRANT LOCATIONS AS SHOWN ON THESE PLANS ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PREVENTION REQUIREMENTS AS SPECIFIED BY THE SOUTH METRO FIRE PROTECTION DISTRICT

SIGNATURE OF FIRE CHIEF OR REPRESENTATIVE

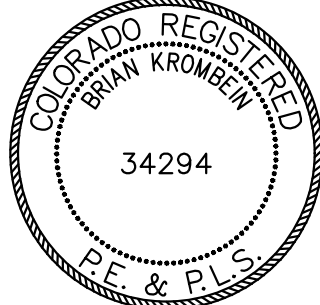
ESTIMATED FIRE FLOW: _____ GPM

DATE

PROFESSIONAL ENGINEER CERTIFICATION

THESE CONSTRUCTION PLANS FOR (NAME OF SUBDIVISION, DEVELOPMENT, OR PROJECT) WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY'S ROADWAY DESIGN AND CONSTRUCTION STANDARDS, STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA, AND THE GRADING, EROSION, AND SEDIMENT CONTROL MANUAL.

BRIAN KROMBEIN, PE, PLS
COLORADO NO. 34294
FOR AND ON BEHALF OF
VERMILION PEAK ENGINEERING LLC



CITY DEVELOPMENT REVIEW ENGINEER

DATE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED AND ACCEPTED BY THE CITY OF CASTLE PINES FOR STREET AND DRAINAGE, GRADING, EROSION, AND SEDIMENT CONTROL, UTILITIES AND SIGNAGE AND STRIPING ONLY.

PUBLIC WORKS ACCEPTANCE BLOCK



29833 Santa Margarita Pkwy,
Suite 300
Rancho Santa Margarita, CA 92688
Main: 951.710.6334
Web: kineticdesign.build
Email: info@kineticdesign.build



Advance Auto Parts
LOT 5, LAGAE FAMILY TRUST MINOR DEVELOPMENT
CASTLE PINES, CO 80108
STORE #

REVISIONS		DESCRIPTION
REV	DATE	

DATE	GROSS SQ. FT.
6/15/26	6,912 S.F.

PROJECT #
DRAWN BY: BK
CHECK BY: BK

ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA, NOTES AND OTHER DOCUMENTS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA, PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR CONSENT OF THE DESIGN PROFESSIONAL. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED.

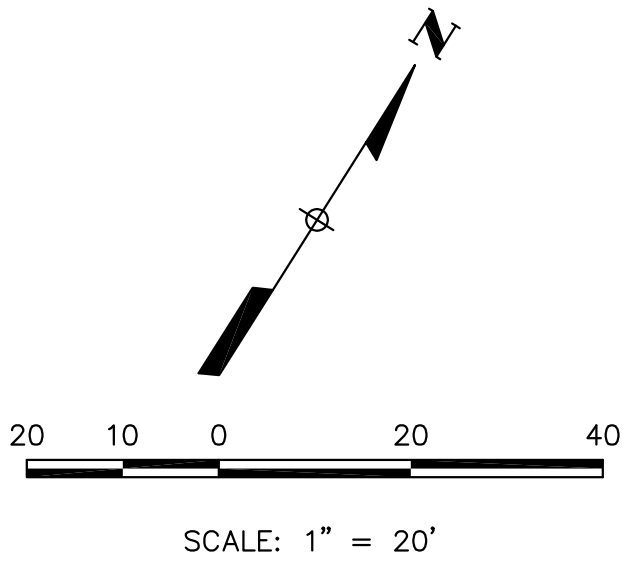
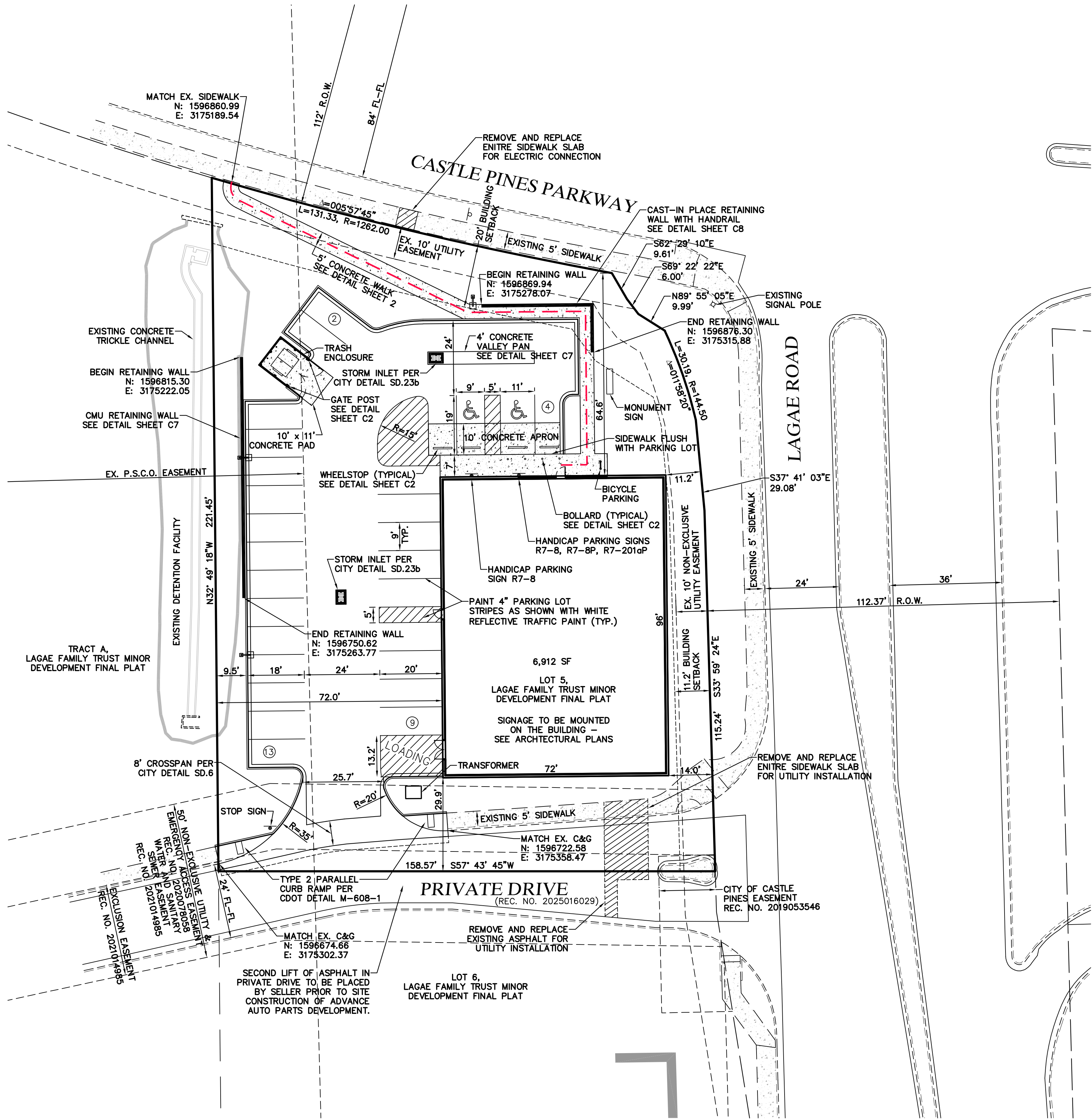
PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION



PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

CIVIL
COVER SHEET

1



LEGEND

- PROPERTY LINE
- R.O.W. LIMITS
- EXISTING CURB & GUTTER
- PROPOSED 1' SPILL CURB AND GUTTER
- SIGN AS DESCRIBED
- PROPOSED LIGHT POLE
- EXISTING LIGHT POLE
- CONCRETE PAVEMENT
- BUILDING SETBACK
- EXISTING EASEMENT
- PROPOSED RETAINING WALL
- PARKING COUNT
- ACCESSIBLE ROUTE

PAVEMENT DESIGN

THE FOLLOWING PAVEMENT RECOMMENDATIONS ARE FROM "GEOTECHNICAL AND PAVEMENT DESIGN REPORT, ADVANCE AUTO PARTS, LOT 5, 7299 LAGAE ROAD, CASTLE PINES, COLORADO" PREPARED BY ENTECH ENGINEERING, INC. ON AUGUST 30, 2024.

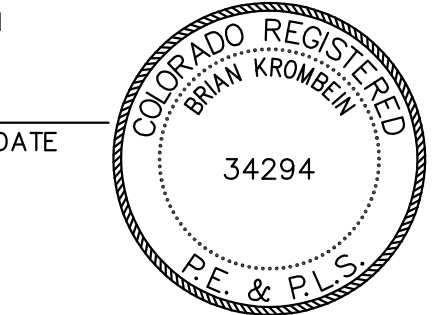
Pavement Area	Design ESAL	Alternative
Access Drive and Parking Areas	220,000	1. 5.0 inches HMA over 8.0 inches ABC

ABC = Aggregate Base Course; ESAL = equivalent single axle loads; HMA = Hot Mix Asphalt

ENGINEER'S STATEMENT

PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS
COLORADO PE NO. 34294
FOR AND ON BEHALF OF
VERMILION PEAK ENGINEERING LLC



CITY DEVELOPMENT REVIEW ENGINEER

DATE

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29833 Santa Margarita Pkwy, Suite 300
Rancho Santa Margarita, CA 92688
Main: 951.710.8334
Web: kineticdesign.build
Email: info@kineticdesign.build

Vermilion Peak Engineering
Civil Engineering
7299 Lagae Road, Suite 100
Castle Pines, CO 80534
760.482.0077

Advance Auto Parts

LOT 5, LAGAE FAMILY TRUST MINOR DEVELOPMENT
CASTLE PINES, CO 80534

STORE #

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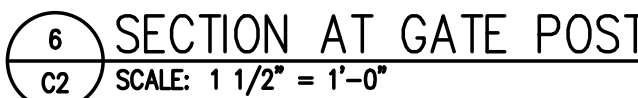
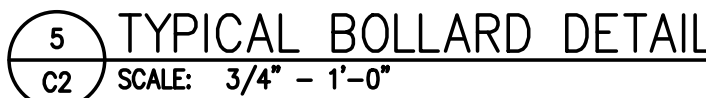
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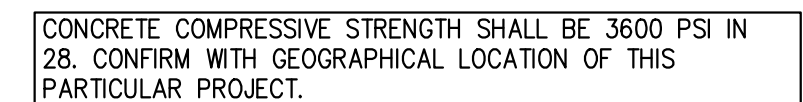
SITE PLAN

2



- 1 CONCRETE PAVEMENT SECTION
C2 SCALE: 1 1/2" = 1'-0"

2 TYPICAL PAVEMENT SECTION
C2 SCALE: 1 1/2" = 1'-0"



3 CURB/GUTTER DETAIL
C2 SCALE: 3/4" = 1'-0"

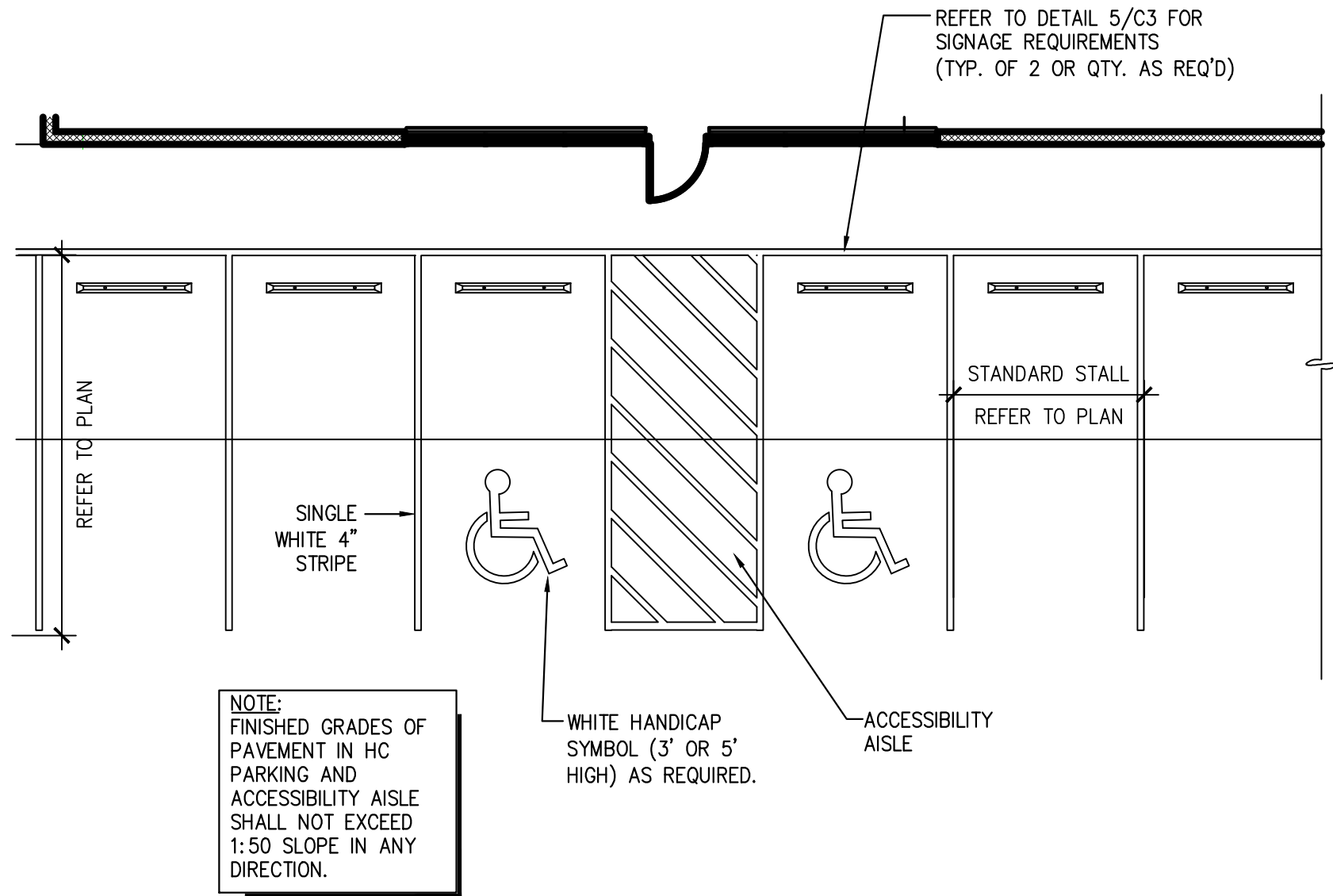
PUBLIC WORKS ACCEPTANCE BLOCK

- 15 TYP RAILING SPECIFICATION
C2 SCALE: NTS



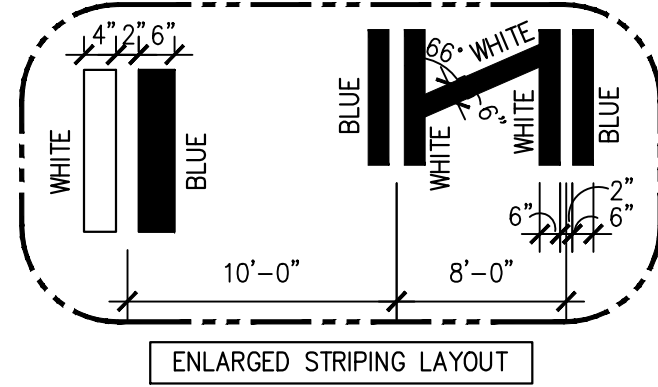
WHEEL STOP

SITE DETAILS

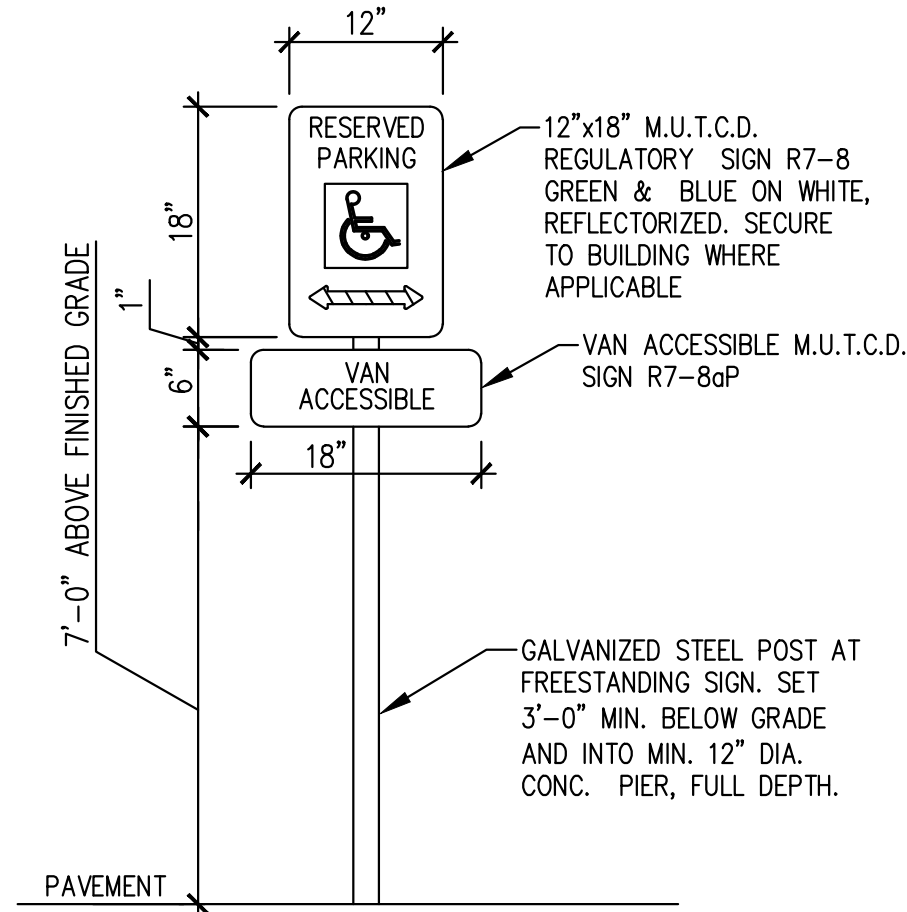


NOTE:
FINISHED GRADES OF
PAVEMENT IN HC
PARKING AND
ACCESSIBILITY AISLE
SHALL NOT EXCEED
1:50 SLOPE IN ANY
DIRECTION.

NOTE:
FINISHED GRADES OF PAVEMENT IN HC
PARKING AND ACCESSIBILITY AISLE
SHALL NOT EXCEED 1:50 SLOPE IN
ANY DIRECTION.
REFER TO PLAN FOR STYLE OF
HANDICAP RAMP.



2 HANDICAP STRIPING PLAN
C3 SCALE: 1/8" = 1'-0"



- NOTES:
1. ALL LETTERS ARE 1" SERIES 'C' PER 2003 MUTCD.
 2. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 4. ONE (1) SIGN REQUIRED FOR EACH ACCESSIBLE PARKING SPACE.
 5. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. (MUTCD)
 6. SIGN MAY BE MOUNTED ON BUILDING/WALL, AT PROPER HEIGHT, IF ALIGNED WITHIN 12" OF CENTER OF PARKING SPACE.

5 HANDICAP SIGNAGE
C3 SCALE: 1" = 1'-0"

ENGINEER'S STATEMENT

PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS DATE
COLORADO PE NO. 34294
FOR AND ON BEHALF OF
VERMILION PEAK ENGINEERING LLC



CITY DEVELOPMENT REVIEW ENGINEER

DATE

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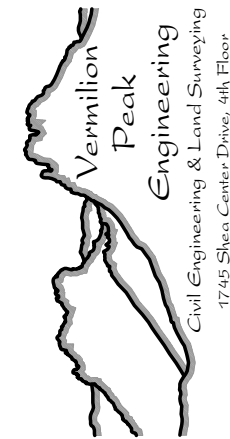
PUBLIC WORKS ACCEPTANCE BLOCK

SITE ACCESSIBILITY DETAIL NOTES:

1. REFER TO SITE PLAN FOR EXACT LOCATION OF HANDICAP PARKING, WALKWAYS AND RAMPS.
2. ALL WALKWAYS, RAMPS, AND HANDICAP PARKING SIGNAGE, ETC. SHALL MEET APPROVED AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS AND LOCAL ACCESSIBILITY CODE.
3. ONE OUT OF EVERY EIGHT (8) ACCESSIBLE PARKING SPACES, BUT NOT LESS THAN ONE, IS REQUIRED TO BE VAN ACCESSIBLE.
4. FINISHED GRADES OF PAVEMENT IN HC PARKING AND ACCESSIBILITY AISLE SHALL NOT EXCEED 1:50 SLOPE IN ANY DIRECTION.



Kinetic Design
29833 Santa Margarita Pkwy,
Suite 300
Rancho Santa Margarita, CA 92688
Main: 951.710.6334
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Email: info@kineticdesign.build



Vermilion Peak
Engineering
Civil Engineering, Surveying
1714 Shreve Center Drive, 4th Floor
Highland Ranch, CO 80027
720.442.0077 vermillionpeakengineering.com

Advance Auto Parts
LOT 5, LAGAE FAMILY TRUST MINOR DEVELOPMENT
CASTLE PINES, CO 80534

STORE #

REVISIONS		DESCRIPTION
REV	DATE	

DATE 6/15/26 GROSS SQ. FT. 6,912 S.F.

PROJECT #

DRAWN BY: BK

CHECK BY: BK

ALL REPORTS, PLANS, SPECIFICATIONS,
FIELD DATA, NOTES AND OTHER
DOCUMENTS, INCLUDING ALL
DOCUMENTS ON ELECTRONIC MEDIA,
PREPARED BY THE DESIGN
PROFESSIONAL, AS INSTRUMENTS OF
SERVICE SHALL REMAIN THE PROPERTY
OF THE DESIGN PROFESSIONAL.
DISSEMINATION MAY NOT BE MADE
WITHOUT PRIOR CONSENT OF THE DESIGN
PROFESSIONAL. ALL COMMON LAW
RIGHTS OF COPYRIGHT AND OTHERWISE,
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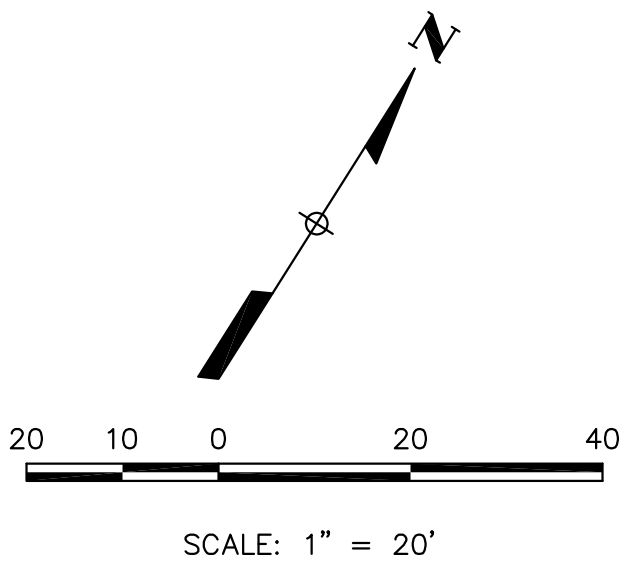
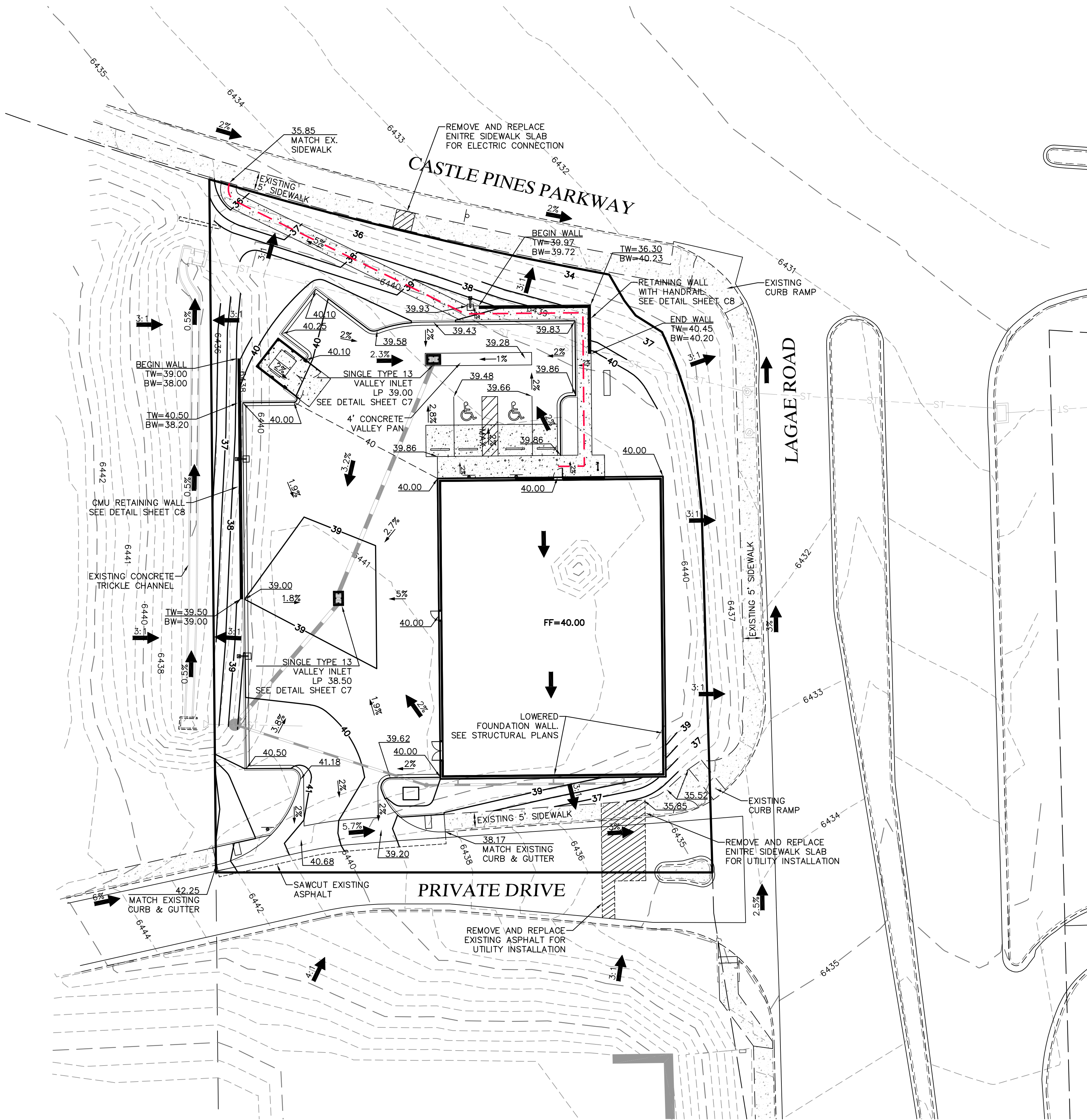
PRELIMINARY DRAWINGS -
NOT FOR CONSTRUCTION



PRELIMINARY DRAWINGS -
NOT FOR CONSTRUCTION

SITE ACCESSIBILITY
DETAILS

4



- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOUR (1' INTERVAL)
 - EXISTING CONTOUR (5' INTERVAL)
 - PROPOSED CONTOUR
 - DRAINAGE FLOW DIRECTION
 - EXISTING CURB & GUTTER
 - PROPOSED 2' CATCH CURB AND GUTTER
 - PROPOSED 1' SPILL CURB AND GUTTER
 - LIMITS OF RIGHT-OF-WAY
 - EXISTING STORM SEWER
 - PROPOSED RCP STORM SEWER

BENCHMARK
WEST 1/4 CORNER SECTION 3, FOUND 3.25" ALUMINUM CAP PLS 10734 MATCHING MONUMENT RECORD FILED 7/31/17.

ENGINEER'S STATEMENT
PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS DATE
COLORADO PE NO. 34294
FOR AND ON BEHALF OF
VERMILION PEAK ENGINEERING LLC



CITY DEVELOPMENT REVIEW ENGINEER

DATE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED AND ACCEPTED BY THE CITY OF CASTLE PINES FOR STREET AND DRAINAGE, GRADING, EROSION, AND SEDIMENT CONTROL, UTILITIES AND SIGNAGE AND STRIPING ONLY.

PUBLIC WORKS ACCEPTANCE BLOCK

Kinetic Design
29833 Santa Margarita Pkwy, Suite 300
Rancho Santa Margarita, CA 92688
Main: 951.710.6334
Web: kineticdesign.build
Email: info@kineticdesign.build

Vermilion Peak Engineering
Civil Engineering & Surveying
1750 Shaw Center Drive, Suite 100
Highland Ranch, CO 80129
770.482.0077 | vermillionpeakengineering.com

Advance Auto Parts

LOT 5, LAGAE FAMILY TRUST MINOR DEVELOPMENT
CASTLE PINES, CO 80534

STORE #

REV	DATE	DESCRIPTION

DATE	GROSS SQ. FT.
6/15/26	6,912 S.F.

PROJECT #	DRAWN BY: BK
CHECK BY: BK	

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PRELIMINARY DRAWINGS – NOT FOR CONSTRUCTION

PRELIMINARY DRAWINGS – NOT FOR CONSTRUCTION

FINAL GRADING PLAN

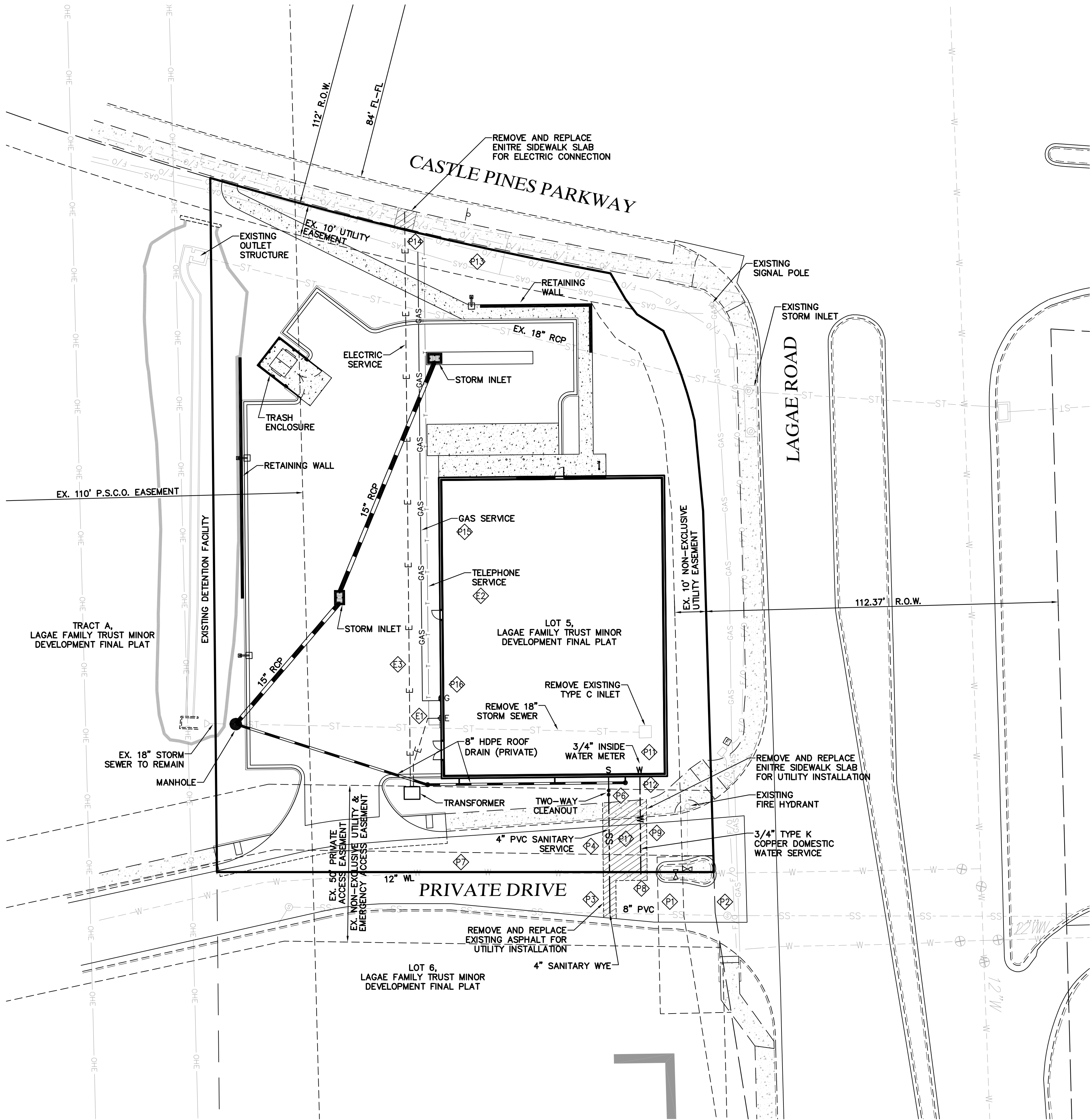
5

PLUMBING KEYED NOTES

- EXISTING SANITARY SEWER MAIN IN PUBLIC RIGHT-OF-WAY TO REMAIN. COORDINATE WITH THE LOCAL SEWER AUTHORITY AND FIELD VERIFY THE EXACT LOCATION, SIZE, FLOW DIRECTION, INVERT AND REQUIRED OR UTILITY PREFERRED TAP LOCATION OR SERVICE STUB-OUTS (IF ANY) PRIOR TO TRENCHING FOR NEW SAN. SEWER.
- EXISTING SAN. SEWER MANHOLE TO REMAIN. FIELD VERIFY THE EXACT LOCATION, RIM ELEVATION AND INVERT PRIOR TO TRENCHING FOR NEW SAN. SEWER.
- COORDINATE WITH LOCAL SEWER AUTHORITY TO CONNECT THE NEW 4" SAN. SEWER SERVICE PIPING AT THE EXISTING SAN. SEWER MANHOLE PER LOCAL STANDARDS AND REGULATIONS. FIELD VERIFY THE INVERT ELEVATION FOR THE NEW CONNECTION.
- NEW 4" UNDERGROUND SAN. SEWER. SLOPE AT 2% MINIMUM. MINIMUM COVER SHALL BE 24" OR AS REQUIRED TO BE BELOW FROST DEPTH.
- PROVIDE SAN. SEWER CLEANOUT TO GRADE. FIELD VERIFY EXACT LOCATION. SET TOP IN 16" x 16" CONCRETE COLLAR FLUSH WITH FINISHED GRADE. CLEANOUT SHALL BE SUITABLE FOR HEAVY TRAFFIC LOADING. REFER TO THE PLUMBING SPECIFICATIONS FOR CLARIFICATION AND DETAIL 300-7 ON SHEET C8.
- PROVIDE A TWO-WAY SAN. SEWER CLEANOUT TO GRADE. SET TOP IN CONCRETE SIDEWALK FLUSH WITH FINISHED GRADE. LOCATE WITHIN 5'-0" OF BLDG. EXTERIOR WALL. REFER TO DRAWING P1. CLEANOUT SHALL BE SUITABLE FOR HEAVY TRAFFIC LOADING. REFER TO THE PLUMBING SPECIFICATIONS FOR CLARIFICATION.
- EXISTING WATER MAIN IN PUBLIC RIGHT-OF-WAY TO REMAIN. FIELD VERIFY THE EXACT LOCATION, SIZE, ROUTING AND REQUIRED OR UTILITY PREFERRED TAP LOCATION OR SERVICE STUB-OUTS (IF ANY) PRIOR TO TRENCHING FOR NEW WATER PIPING.
- COORDINATE WITH LOCAL WATER AUTHORITY TO CONNECT THE NEW 3/4" WATER SERVICE PIPING TO THE EXISTING WATER MAIN PER LOCAL STANDARDS AND REGULATIONS. FIELD VERIFY THE EXACT LOCATION, SIZE AND BURY DEPTH OF TAP.
- NEW 1" UNDERGROUND WATER SERVICE PIPING. PROVIDE 3/4" BRANCH TO SERVE SITE IRRIGATION SYSTEM BY OTHERS.
- COORDINATE WITH THE LOCAL WATER AUTHORITY TO PROVIDE A 3/4" DOMESTIC WATER METER WITH REMOTE READOUT IN ROADWAY BOX IN RIGHT-OF-WAY. WHEN REQUIRED, PROVIDE WATER AUTHORITY APPROVED BACKFLOW PREVENTION DEVICE IN VAULT. VAULT(S) AND VALVING SHALL BE PER LOCAL WATER AUTHORITY STANDARDS AND REGULATIONS.
- 3/4" UNDERGROUND DOMESTIC C.W. SERVICE. MINIMUM COVER SHALL BE 4.5' AS REQUIRED TO BE BELOW FROST DEPTH IN ACCORDANCE WITH LOCAL WATER AUTHORITY REGULATIONS.
- EXISTING NATURAL GAS MAIN IN PUBLIC RIGHT-OF-WAY TO REMAIN. COORDINATE WITH THE LOCAL GAS UTILITY CO. AND FIELD VERIFY THE EXACT LOCATION, SIZE, BURY DEPTH AND REQUIRED OR UTILITY PREFERRED TAP LOCATION OR SERVICE STUB-OUTS (IF ANY) PRIOR TO TRENCHING FOR NEW GAS SERVICE PIPING.
- COORDINATE WITH THE LOCAL GAS UTILITY CO. TO CONNECT THE NEW GAS SERVICE PIPING TO THE EXISTING GAS MAIN PER LOCAL STANDARDS AND REGULATIONS. FIELD VERIFY THE BURY DEPTH FOR THE NEW CONNECTION. TAP, SERVICE PIPING AND RELATED TRENCHING, BACKFILL, ETC. MAY BE PROVIDED BY THE GAS UTILITY CO. VERIFY GAS SERVICE ARRANGEMENTS DURING BIDDING.
- COORDINATE WITH THE LOCAL GAS UTILITY CO. FOR THE INSTALLATION OF UNDERGROUND GAS SERVICE PIPING TO THE METER LOCATION. SERVICE PIPING AND RELATED TRENCHING, BACKFILL, ETC. MAY BE PROVIDED BY THE GAS UTILITY CO. VERIFY GAS SERVICE ARRANGEMENTS DURING BIDDING.
- COORDINATE WITH THE LOCAL GAS UTILITY CO. FOR THE INSTALLATION OF THE GAS METER AND REGULATOR. CONNECT AT THE OUTLET SIDE OF THE GAS METER AND PROVIDE A HOUSE VALVE AND MAIN GAS RISER ON THE BLDG. EXTERIOR TO THE ROOF. REFER TO DRAWING M1. PAINT GAS RISER TO MATCH THE BLDG. EXTERIOR. METER, REGULATOR AND HOUSE VALVE COLOR SHALL BE PER GAS CO. REQUIREMENTS. CONNECTED LOAD = 390 MBH. DELIVERY PRESSURE = 7" W.C. (NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF THE DELIVERY PRESSURE IS NOT 7" W.C.). PROVIDE A MINIMUM OF TWO (2) CONCRETE FILLED STEEL PIPE BOLLARDS FOR GAS METER PROTECTION PER THE PIPE BOLLARD DETAIL ON DRAWING C2. PAINT BOLLARDS YELLOW.
- MAINTAIN MINIMUM 10'-0" HORIZONTAL SEPARATION BETWEEN ON-SITE SAN. SEWER AND DOMESTIC OR IRRIGATION WATER PIPING WHENEVER POSSIBLE. WHERE WATER PIPING MUST CROSS OVER SAN. SEWER PIPING, MAINTAIN A MINIMUM 18" VERTICAL SEPARATION. WHERE SAN. SEWER PIPING MUST CROSS OVER WATER PIPING, MAINTAIN A MINIMUM 24" VERTICAL SEPARATION AND PROVIDE MIN. 4" THICK CONCRETE ENCASEMENT OR 4" CONTINUOUS CAST IRON PIPE SLEEVE ON WATER PIPING FOR A MINIMUM OF 10'-0" ON EACH SIDE OF THE SAN. SEWER CROSSING. WHERE PERMITTED BY LOCAL CODE, DOMESTIC WATER AND SAN. SEWER SERVICE PIPING MAY BE INSTALLED IN A COMMON TRENCH. TRENCH AND PIPING PLACEMENT SHALL COMPLY WITH ALL GOVERNING CODES AND REGULATIONS.

ELECTRICAL KEYED NOTES

- INCOMING SECONDARY ELECTRIC SERVICE. REFER TO RISER SHEET E4. COORDINATE ALL REQUIREMENTS WITH LOCAL UTILITY CO.
- INCOMING TELEPHONE SERVICE CONDUIT. REFER TO RISER SHEET E4. COORDINATE ALL REQUIREMENTS WITH LOCAL UTILITY CO.
- INCOMING PRIMARY ELECTRIC SERVICE CONDUIT. COORDINATE WITH LOCAL UTILITY CO. FOR REQUIREMENTS.



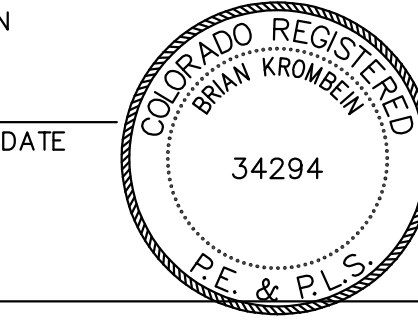
LEGEND

- PROPERTY LINE
- R.O.W. LIMITS
- EXISTING CURB & GUTTER
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING STORM SEWER
- EXISTING GAS PIPE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND FIBRE OPTIC
- EXISTING OVERHEAD ELECTRIC
- PROPOSED GAS PIPE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED RCP STORM SEWER
- PROPOSED 2' CATCH CURB AND GUTTER
- PROPOSED 1' SPILL CURB AND GUTTER
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- CONCRETE PAVEMENT
- EXISTING EASEMENT
- PROPOSED LIGHT POLE

ENGINEER'S STATEMENT

PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS
COLORADO PE NO. 34294
FOR AND ON BEHALF OF
VERMILION PEAK ENGINEERING LLC



CITY DEVELOPMENT REVIEW ENGINEER

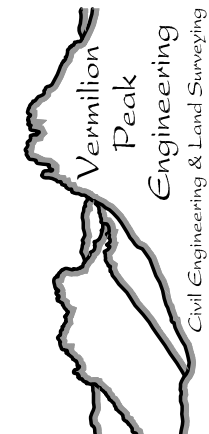
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PUBLIC WORKS ACCEPTANCE BLOCK



29833 Santa Margarita Pkwy,
Suite 300
Rancho Santa Margarita, CA 92688
Main: 951.710.6334
Web: kineticdesign.build
Email: info@kineticdesign.build



Advance Auto Parts
LOT 5, LAGAE FAMILY TRUST MINOR DEVELOPMENT
CASTLE PINES, CO 80534
STORE #

REV	DATE	DESCRIPTION

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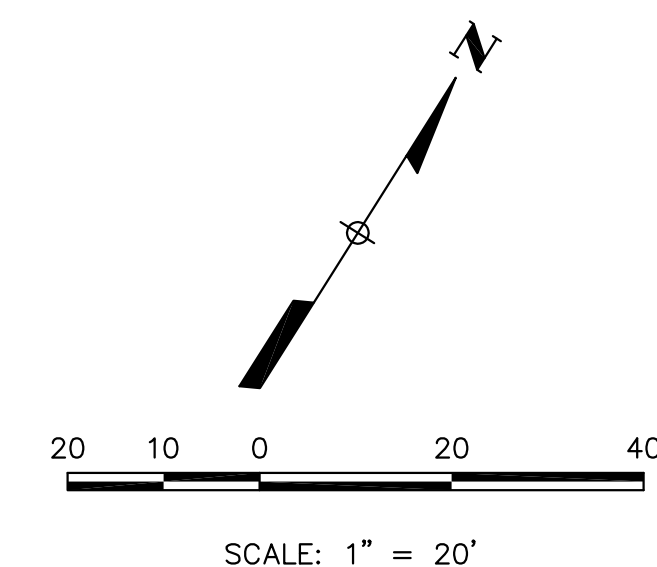
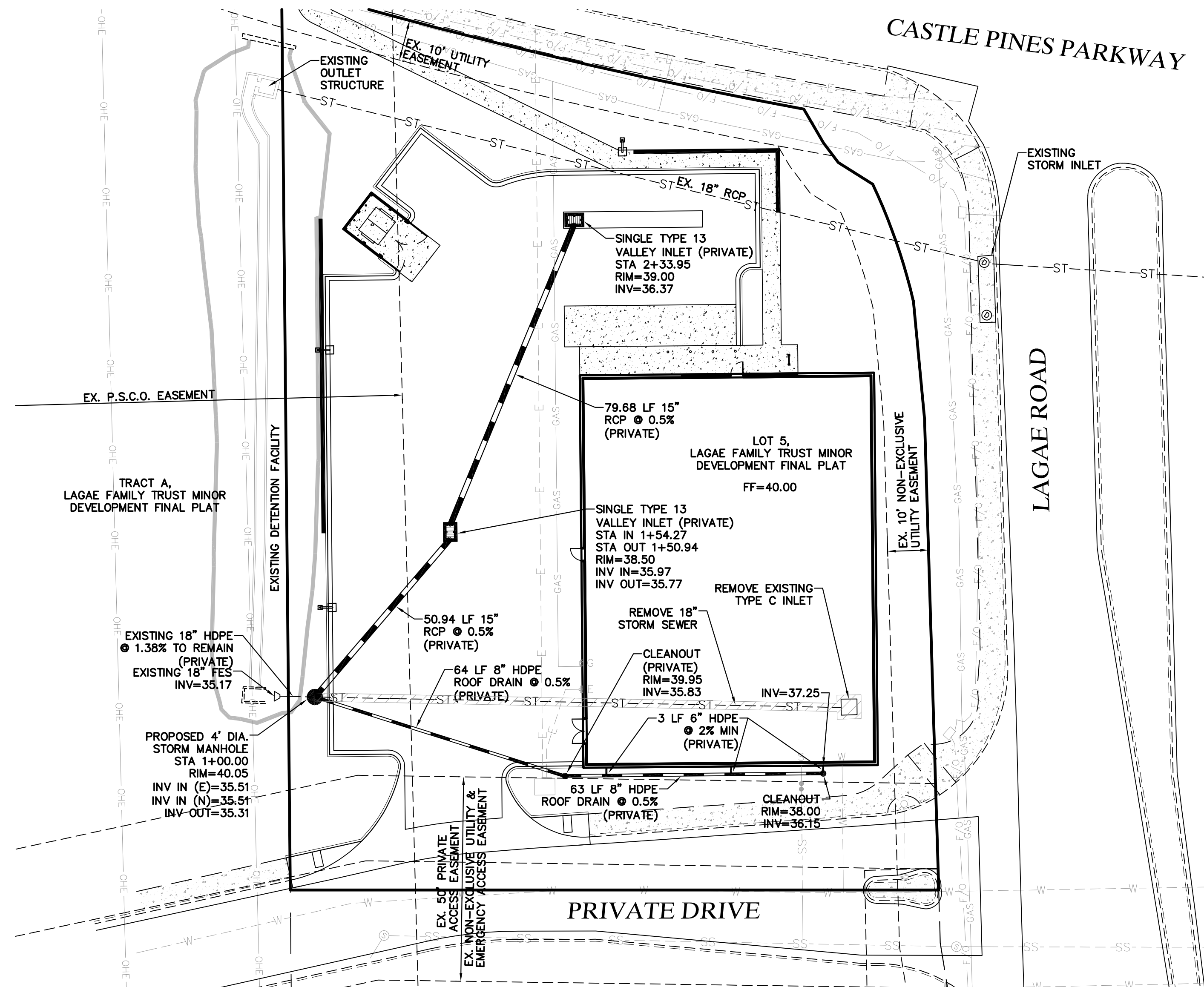
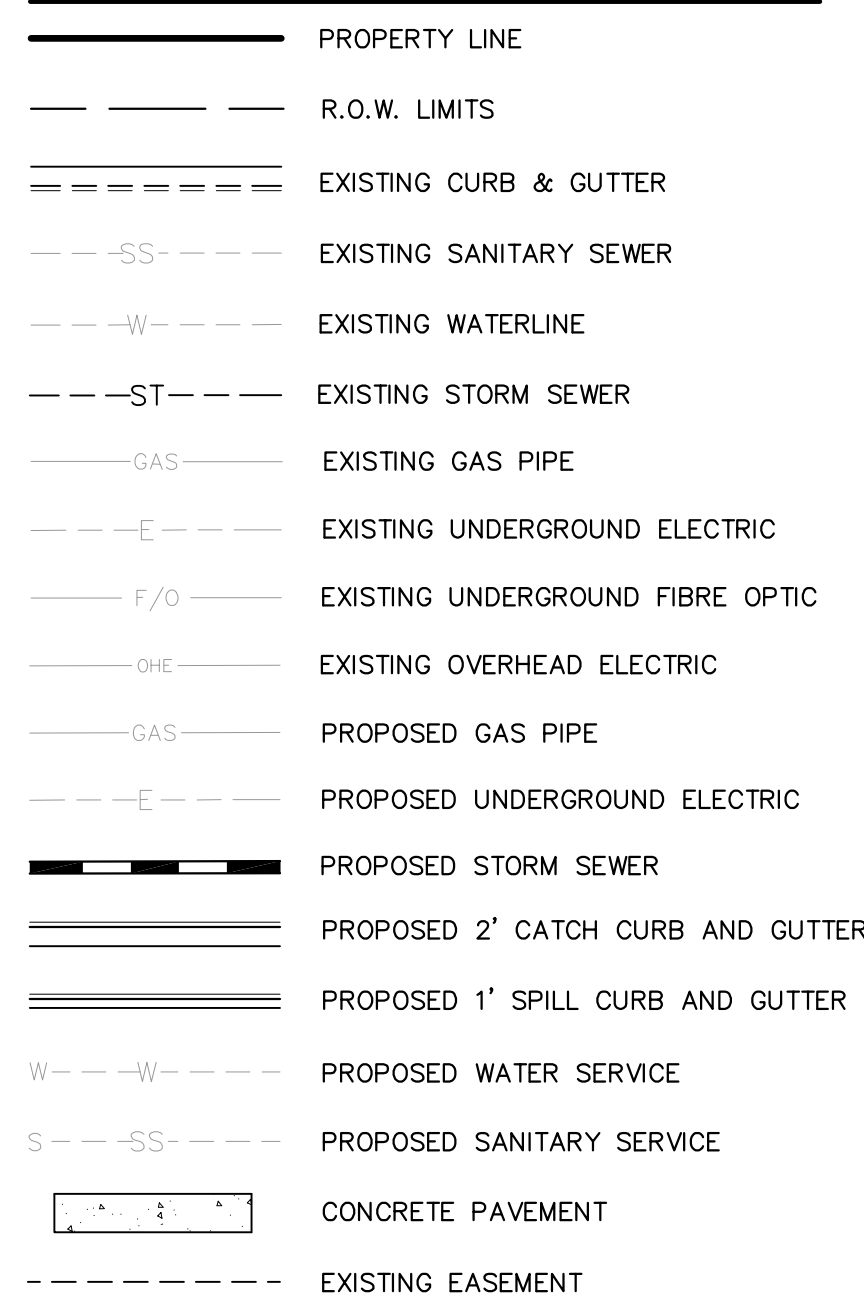
PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION



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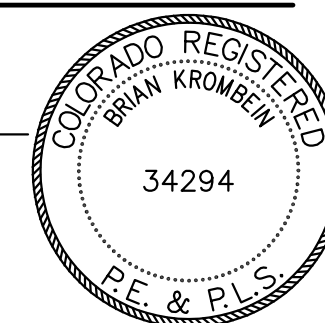
UTILITY PLAN

6



PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS
COLORADO PE NO. 34294
FOR AND ON BEHALF OF
VERMILION PEAK ENGINEERING LLC

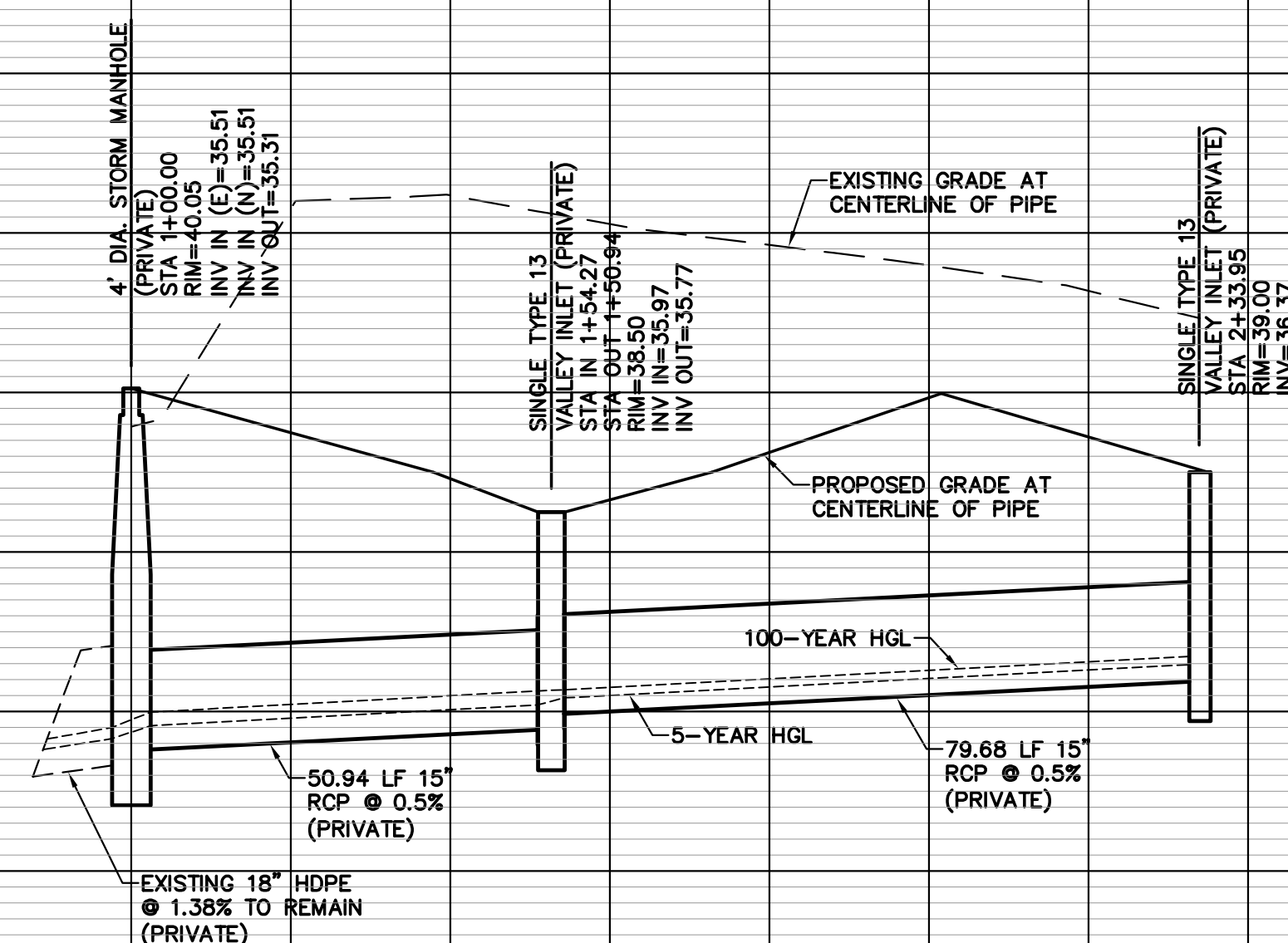


CITY DEVELOPMENT REVIEW ENGINEER

DATE _____

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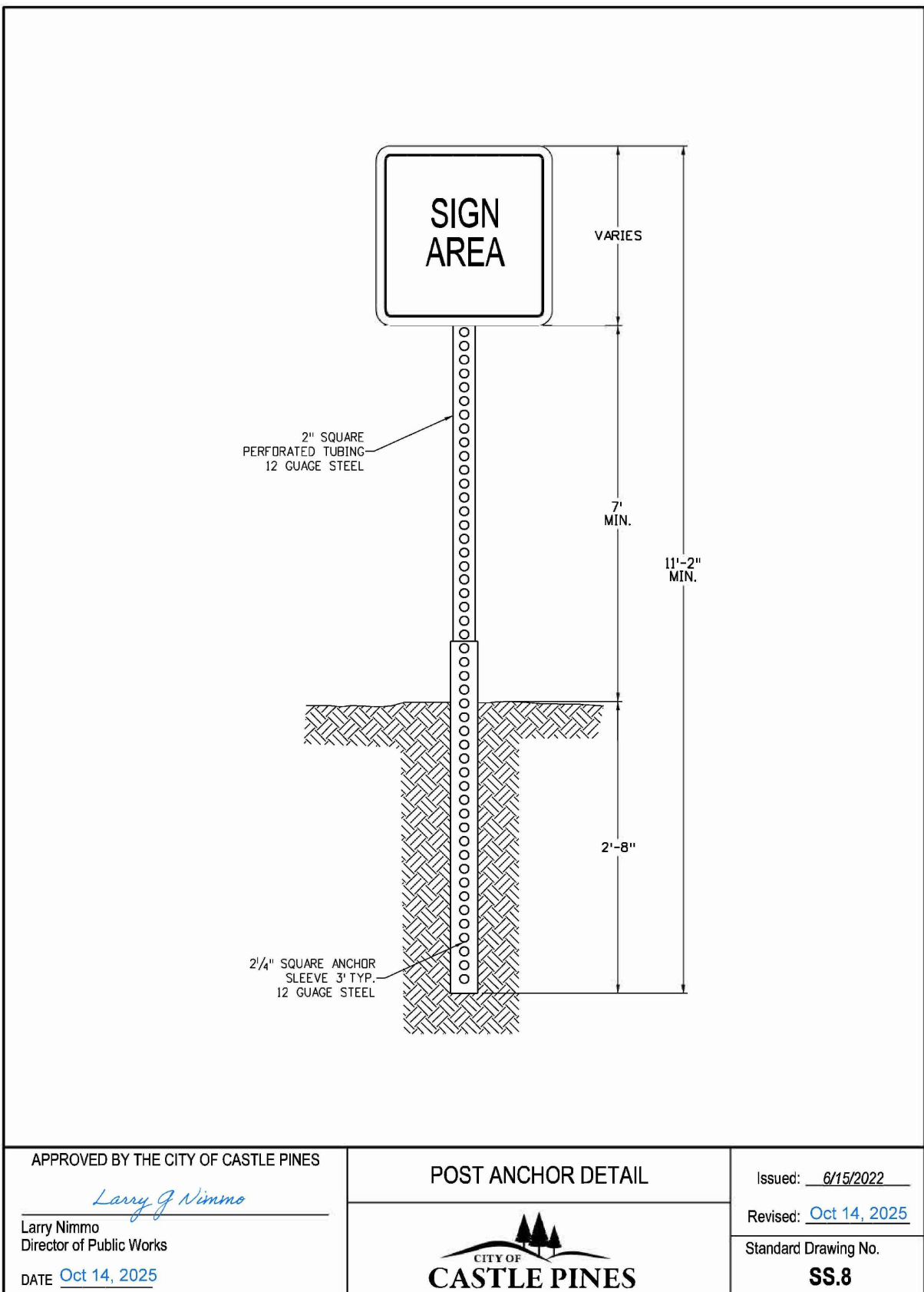
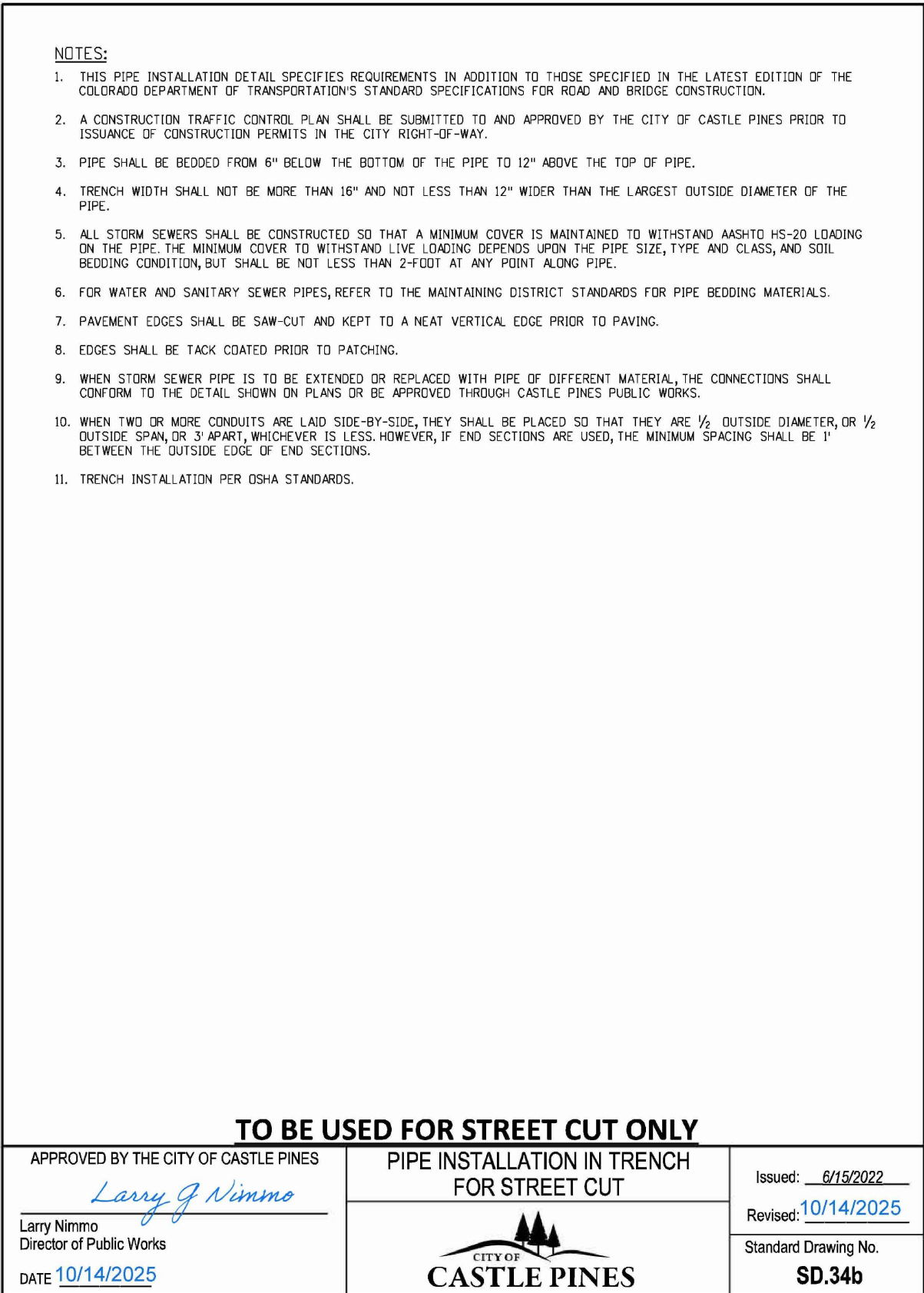
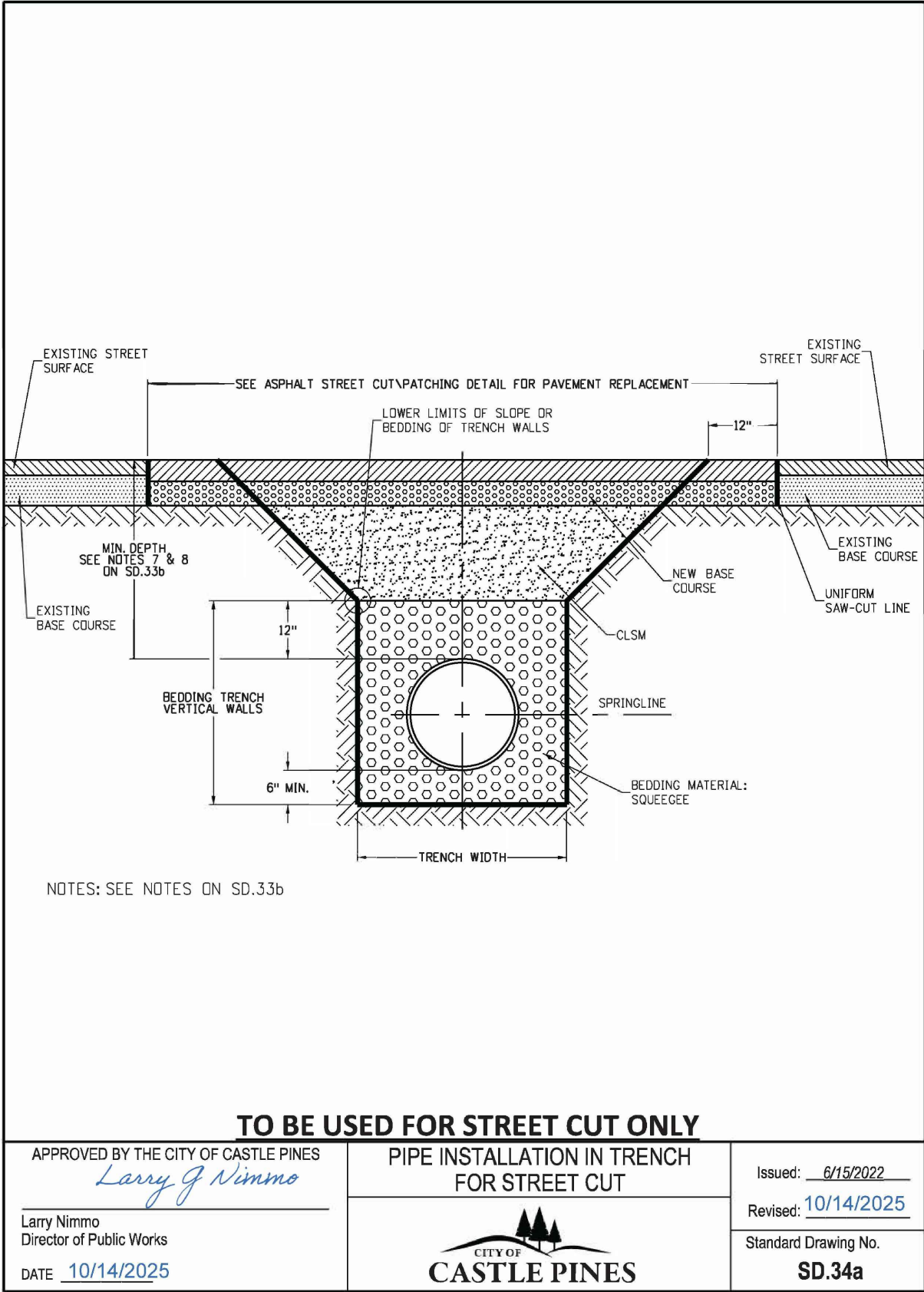
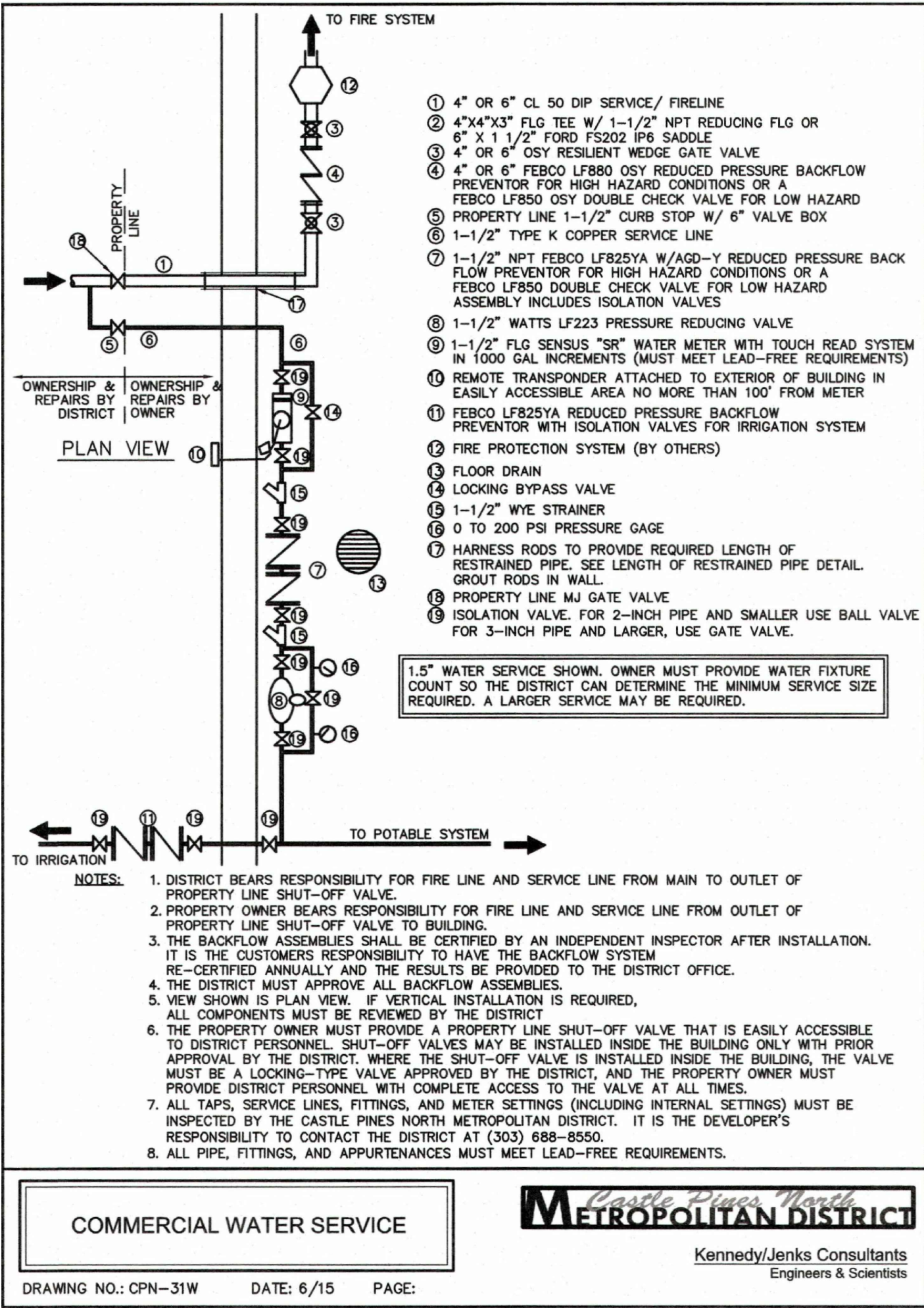
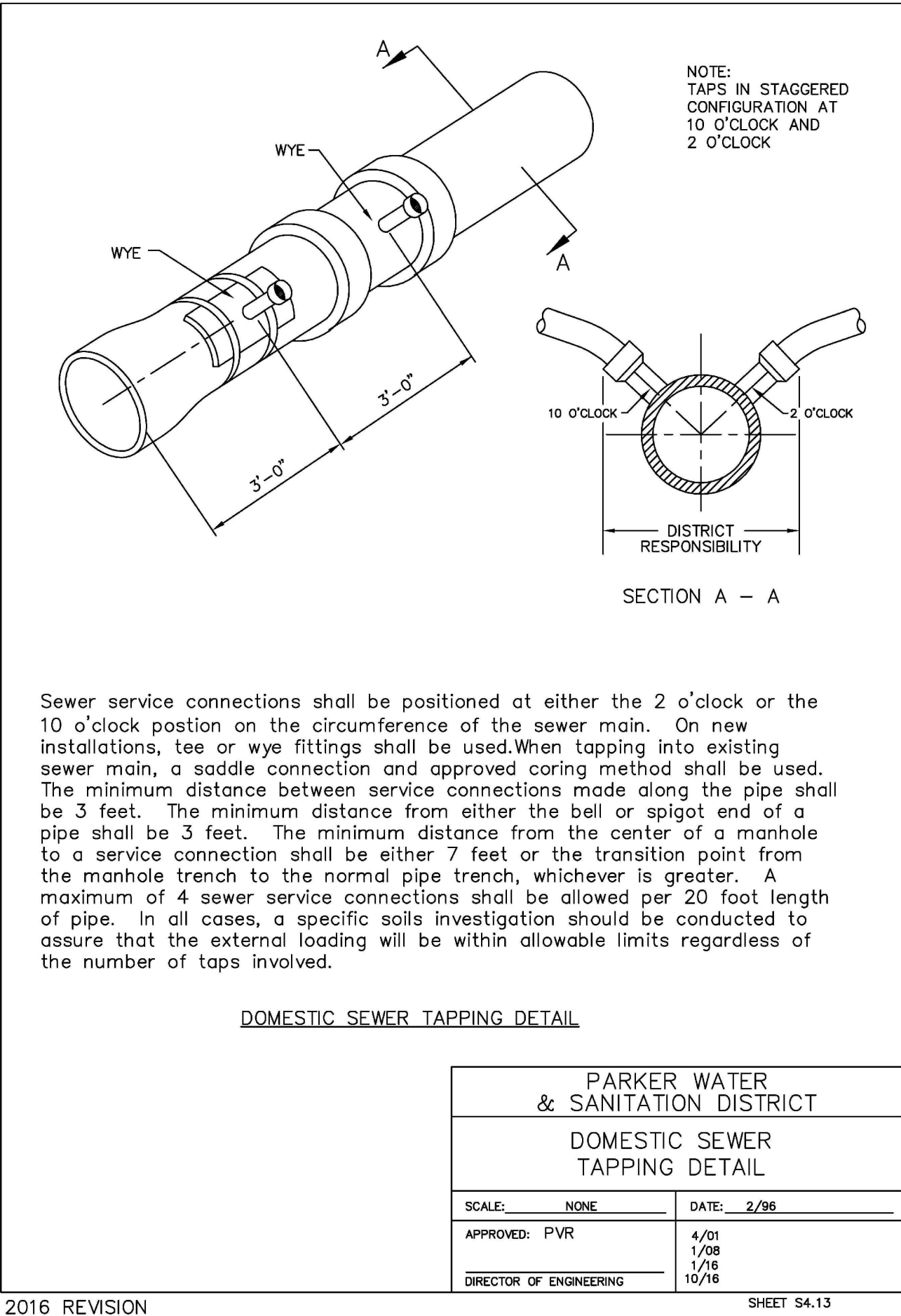
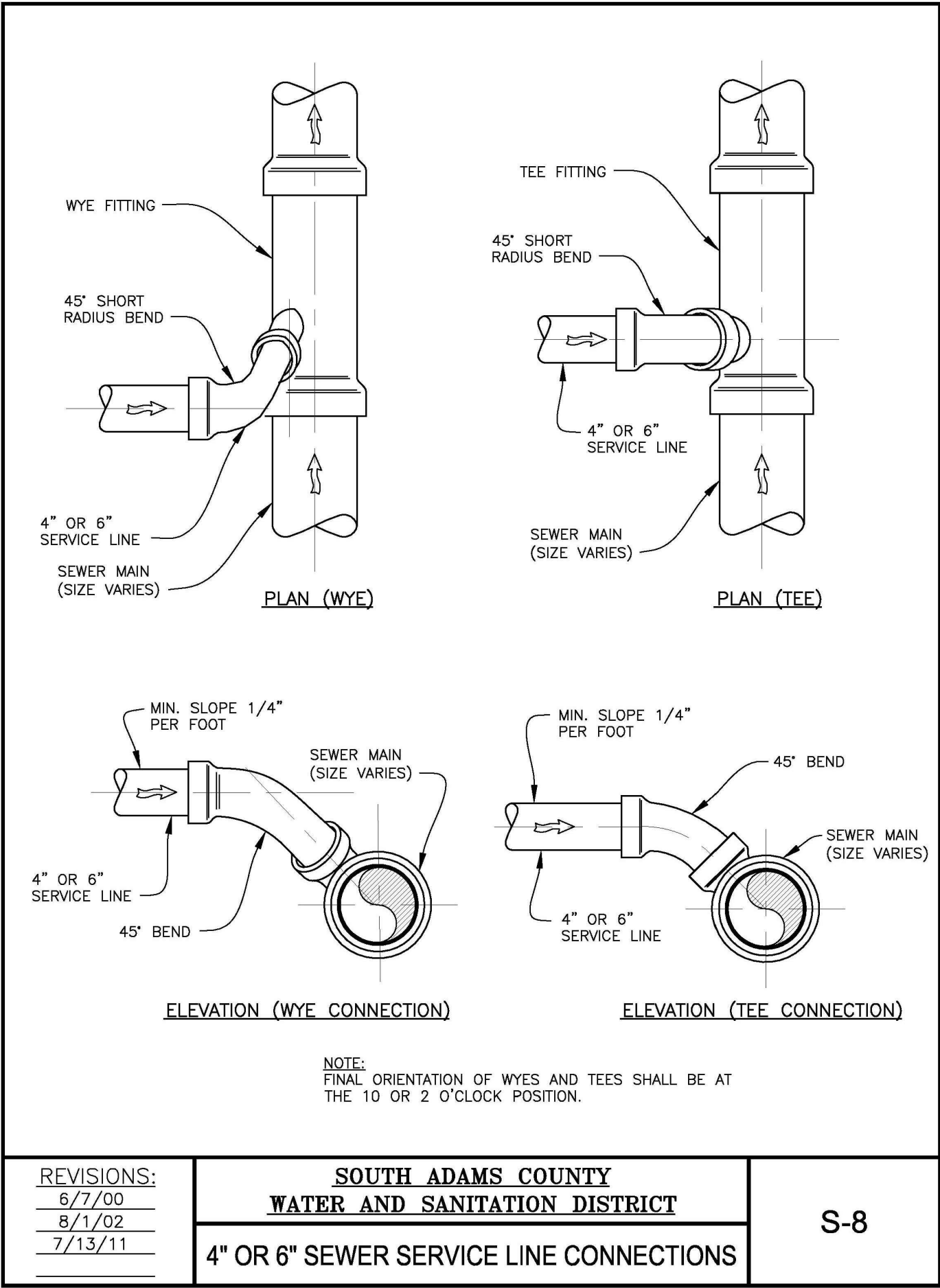
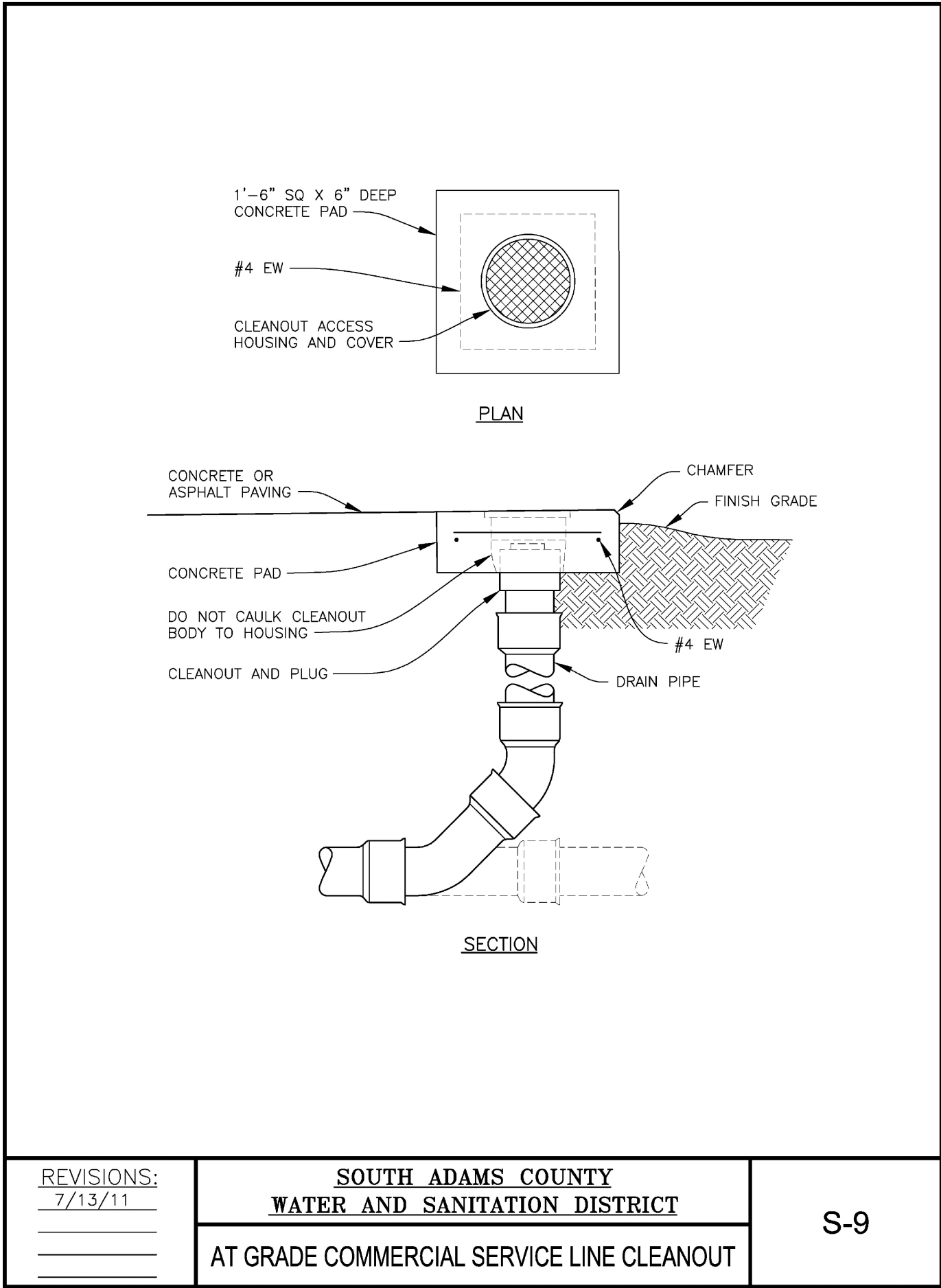
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Advance Auto Parts 

LOT 5. LACAE FAMILY TRUST MINOR DEVELOPMENT

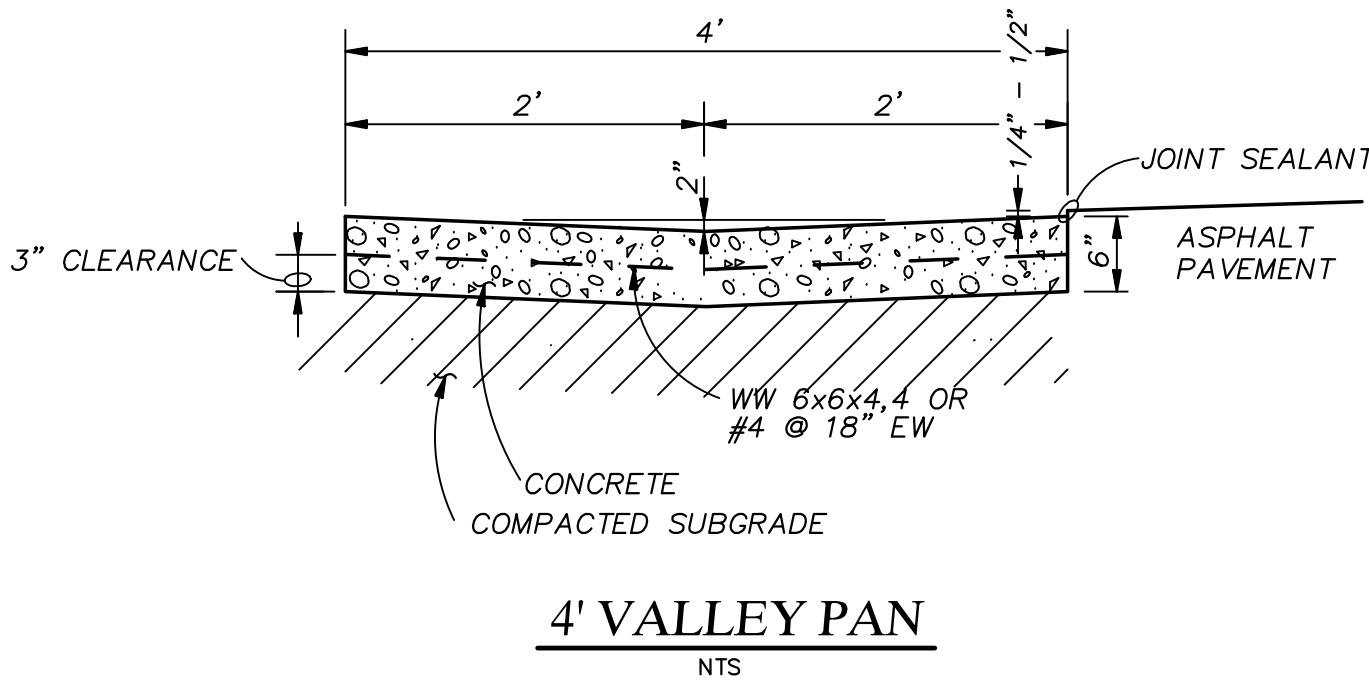
STORE #

REVIEWS		DESCRIPTION
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PRELIMINARY DRAWINGS – NOT FOR CONSTRUCTION  PRELIMINARY DRAWINGS – NOT FOR CONSTRUCTION		
STORM SEWER PLAN & PROFILE		



R1-1

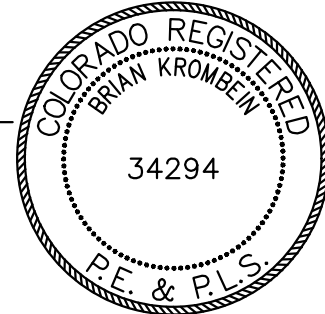
30" x 30"



ENGINEER'S STATEMENT

PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS
COLORADO PE NO. 34294
FOR AND ON BEHALF OF
VERMILION PEAK ENGINEERING LLC



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STANDARD DETAILS

9

PUBLIC WORKS ACCEPTANCE BLOCK

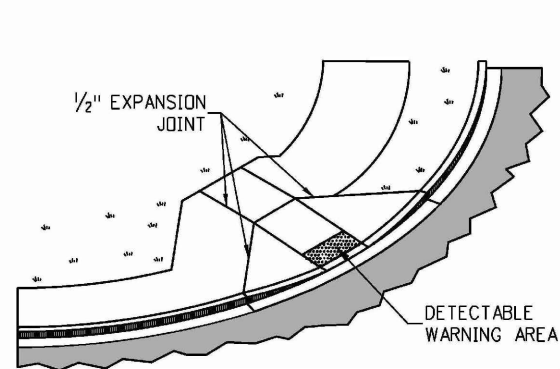
Kinetic Design
29833 Santa Margarita Pkwy., Suite 300
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Advance Auto Parts
LOT 5, LAGAE FAMILY TRUST MINOR DEVELOPMENT
CASTLE PINES, CO 80534

VERMILION PEAK ENGINEERING
Civil Engineering & Land Surveying
1750 Shaw Center Drive, 4th Floor
Highland, Colorado, 80501
702.562.0077

CURB RAMP GENERAL NOTES:

- IN ACCORDANCE WITH CRS4-3-2-107(2), ADA COMPLIANT CURB RAMP SHALL BE PROVIDED AT ALL PEDESTRIAN CROSSINGS AND AT PUBLIC TRANSPORTATION STOPS WHERE WALKWAYS INTERSECT A CURB. THESE LOCATIONS USUALLY INCLUDE, BUT ARE NOT LIMITED TO STREET CROSSINGS AT INTERSECTIONS AND AT DESIGNATED MID-BLOCK LOCATIONS.
- THE FOLLOWING CURB RAMP TYPES ARE GENERAL REPRESENTATIONS. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT), M STANDARD PLANS, LATEST EDITION PROVIDE ADDITIONAL ACCEPTABLE DETAILS. SEE DETAILED RAMP LAYOUTS ON THE PLANS FOR CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY OF CASTLE PINES.
- SIDEWALK SHALL BE RAMPED WHERE A DRIVEWAY IS EXTENDED ACROSS THE WALK.
- DETAILS SHOWN IN THE PLAN SHALL APPLY TO ALL CONSTRUCTION OR RECONSTRUCTION OF STREET, CURBS OR SIDEWALKS PER CURB RAMP DETAILS.
- IN NEW CONSTRUCTION, RAMP AND CURB MAY BE POURED MONOLITHICALLY.
- RAMP AND WINGS SHALL BE POURED MONOLITHICALLY.
- MINIMUM WIDTH OF RAMPS SHALL BE 4 FEET AND RAMP SLOPES SHALL NOT BE STEEPER THAN 7.5%.
- MAINTAIN BACK OF WALK ELEVATION AT 1.5% SLOPE FROM TOP OF CURB.
- CONCRETE FOR SIDEWALK RAMPS SHALL BE CLASS "D".
- A 1/4" EXPANSION JOINT SHALL BE REQUIRED WHERE THE CONCRETE RAMP JOINS ANY RIGID PAVEMENT OF STRUCTURE.
- DRAINAGE STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMPS. LOCATION OF THE RAMP SHALL TAKE PRECEDENCE OVER LOCATION OF THE DRAINAGE STRUCTURE.



ISOMETRIC VIEW

DETECTABLE WARNING AREA NOTES

- DETECTABLE WARNING AREAS SHALL BE INSTALLED WITHIN CURB RAMPS AT ALL SIDEWALK/STREET TRANSITIONS, AS DESCRIBED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), LATEST REVISION.
- DETECTABLE WARNING DEVICES SHALL BE TRUNCATED DOME WARNING DEVICES. COLOR SHALL BE BRICK RED, TILE RED, OR OTHER EQUIVALENT COLOR TO PROVIDE COLOR CONTRAST WITH ADJACENT SURFACES, AS REQUIRED BY ADAAG SECTION 4.29.2. THE CITY MUST APPROVE THE TRUNCATED DOME WARNING AREA COLOR PRIOR TO CONSTRUCTION.
- CONTRACTION COLOR REQUIREMENT SHALL BE MET BY TRUNCATED DOME SECTIONS AND NOT BY USE OF COLORED CONCRETE.
- DETECTABLE WARNING SHALL BE ON CDOT'S APPROVED MATERIALS LIST. A SAMPLE OF THE DETECTABLE WARNING (TRUNCATED DOMES) TO BE USED ON THE PROJECT SHALL BE SUBMITTED TO AND ACCEPTED BY THE CITY PRIOR TO CONSTRUCTION.
- ALL DETECTABLE WARNING AREAS SHALL START A MINIMUM OF 6 INCHES AND A MAXIMUM OF 5 FEET FROM THE FLOW LINE OF THE CURB UNLESS INSTALLED AT CUT-THROUGH REFUGE ISLANDS, IN WHICH CASE THE DETECTABLE WARNING AREA WILL START AT THE EDGE OF THE ISLAND. ALL DETECTABLE WARNING AREAS SHALL BE 24 INCHES IN LENGTH AND COVER THE COMPLETE WIDTH OF THE RAMP AREA ONLY.
- SURFACE APPLIED TRUNCATED DOME PANELS ARE ONLY ALLOWED ON PRE-EXISTING CURB RAMPS AND ARE NOT ALLOWED IN NEW CONSTRUCTION.

APPROVED BY THE CITY OF CASTLE PINES

Larry Nimmo
Director of Public Works
DATE Oct 14, 2025

CURB RAMP & DETECTABLE WARNING AREA NOTES

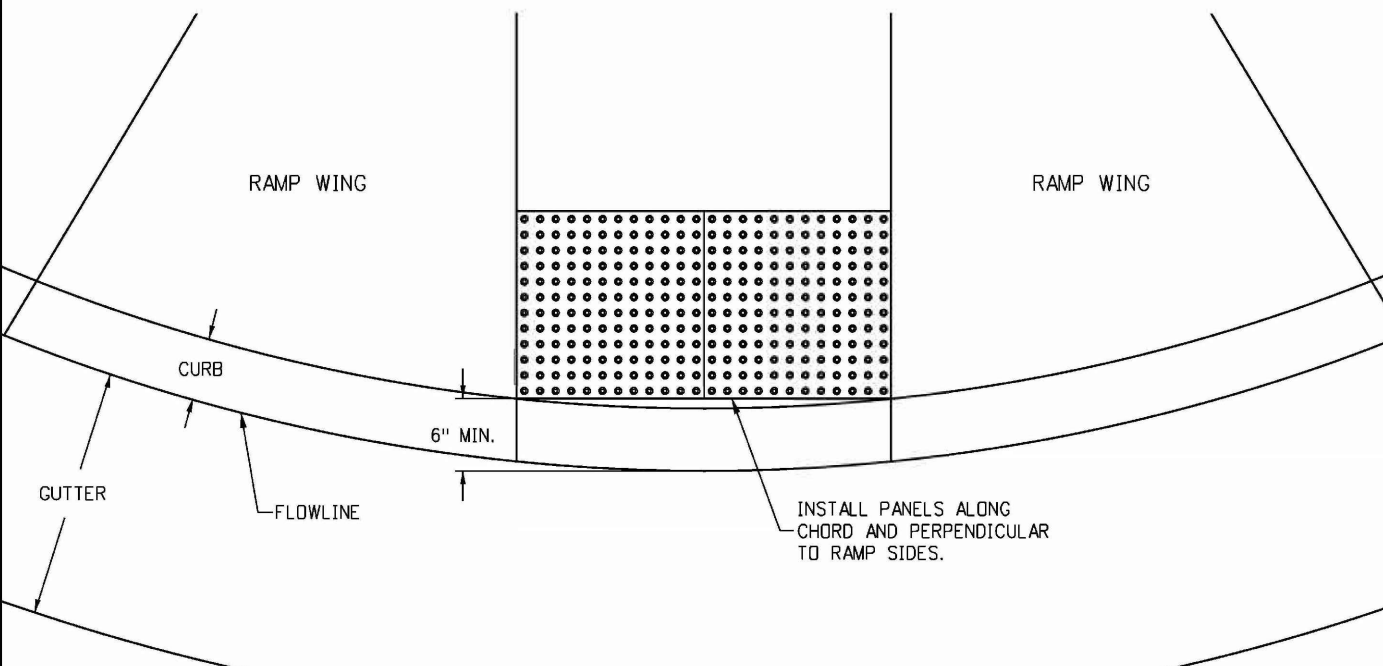
CITY OF CASTLE PINES

Issued: 8/15/2022

Revised: 10/14/2025
Standard Drawing No. SD 3a

PANEL INSTALLATION NOTES:

- DETECTABLE WARNING PANELS, 24" X 24" OR 24" X 30" IN SIZE, SHALL BE PREFABRICATED REDDISH WITH TRUNCATED DOMES AND COMPLY WITH ADA REQUIREMENTS. ONLY FULL PANELS SHALL BE USED TO OBTAIN SPECIFIC RAMP TREAD WIDTH (I.E. TWO 24" PANELS FOR A 4' RAMP, TWO 30" PANELS FOR A 5' RAMP, ETC.).
- PRIOR TO START OF WORK, CONTRACTOR SHALL SUBMIT, TO THE CITY OF CASTLE PINES FOR APPROVAL, A SAMPLE PANEL AND DOCUMENTATION FROM THE MANUFACTURER. PANEL SURFACE SHALL HAVE A MINIMUM OF 70% LIGHT REFLECTIVITY CONTRAST WITH THE ADJOINING SURFACE. PANELS SHALL ONLY BE SELECTED FROM THE APPROVED PRODUCT LIST BELOW:
PRODUCT NAME: CAST-IN-PLACE Tactile, DURALAST, Detectable Warning Paving Slab, TekWay Dome-Tiles, TufTile Cast Iron Tile/Radius-Wedge (CIP)
MANUFACTURER: Pioneer Detectable, LLC, ADA Solutions, Inc., E.J. USA, Inc., StoneWell Concepts, StrongGo LLC, TufTile, Inc.
PRODUCER SUPPLIER CODE: GEN10004, GEN10023, GEN10020, GEN100341, GEN100343, GEN100088
- PANELS SHALL BE PLACED AS SHOWN, WITH DOME PATTERN IN A SQUARE GRID AND ALIGNED IN THE DIRECTION OF TRAVEL. A STEEL TEMPLATE SHALL BE USED TO ENSURE PROPER ALIGNMENT AND UNIFORM GRADE.
- REMOVE THE PROPER AMOUNT OF CONCRETE WITHIN THE TEMPLATE FOR AN ACCURATE INSTALLATION. ONCE TO THE PROPER DEPTH, FLOAT THE AREA TO RECEIVE THE PANELS UNTIL A SMOOTH PASTE HAS DEVELOPED.
- WET THE BACK SIDE OF EACH PANEL AND TROWEL SOME CONCRETE PASTE OF APPROVED BONDING AGENT OVER THE WET SURFACE FOR BETTER ADHERENCE.
- SET THE FIRST PANEL ON THE FRESHLY PREPARED SURFACE. DO NOT PRESS DOWN HARD ON THE PANEL, BUT PREFERABLY TWIST FROM SIDE TO SIDE. SET PANEL WITH RUBBER Mallet TO PROPER DEPTH SO THAT THE BASE OF THE TRUNCATED DOME IS AT THE SAME ELEVATION AS THE ADJOINING RAMP SURFACE.
- SET SUCCESSIVE PANELS WITH A TIGHT BUTT JOINT AGAINST THE PREVIOUSLY SET PANEL. PROVIDE A 1/8" GAP BETWEEN PANELS.
- FLOAT FRESH CONCRETE AROUND PANELS. FINISH AND BROOM SURROUNDING CONCRETE AS SPECIFIED. CLEAN ANY CONCRETE OFF PANELS WITH A SPONGE.
- PROVIDE 1" DEEP TOOL JOINTS AT CORNERS OF DETECTABLE WARNING AREA, AND TOOL AROUND PANELS WITH 1/4" RADIUS EDGER.
- WHEN CUT PANELS ARE REQUIRED, CUT SECTIONS SHALL NOT SIGNIFICANTLY IMPACT OVERALL TRUNCATED DOMES PATTERN AND CUT DOMES SHALL BE BEVELED AT A 45-DEGREE ANGLE TO CREATE A SMOOTH TRANSITION.
- ANY PANELS THAT ARE DAMAGED DURING TRANSPORT OR INSTALLATION WILL BE REJECTED AND SHALL NOT BE INSTALLED.
- CLEAN OUT 1/4" JOINT(S) BETWEEN PANELS AND SEAL WITH EPOXY.
- SETTING TRUNCATED DOME PANELS IN SAND BEDDING OR OTHER NON-CEMENTITIOUS BEDDING MATERIALS SHALL NOT BE ALLOWED.



APPROVED BY THE CITY OF CASTLE PINES

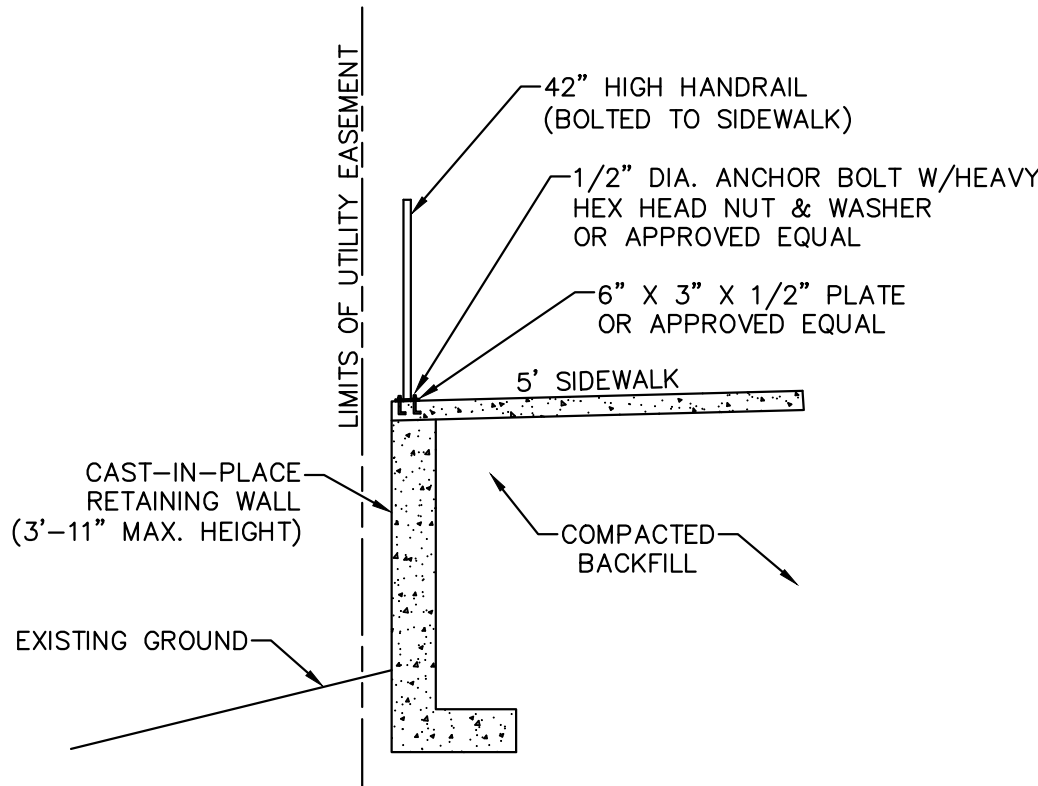
Larry Nimmo
Director of Public Works
DATE Oct 14, 2025

CURB RAMP WITH PANEL DETECTABLE WARNING AREA INSTALLATION

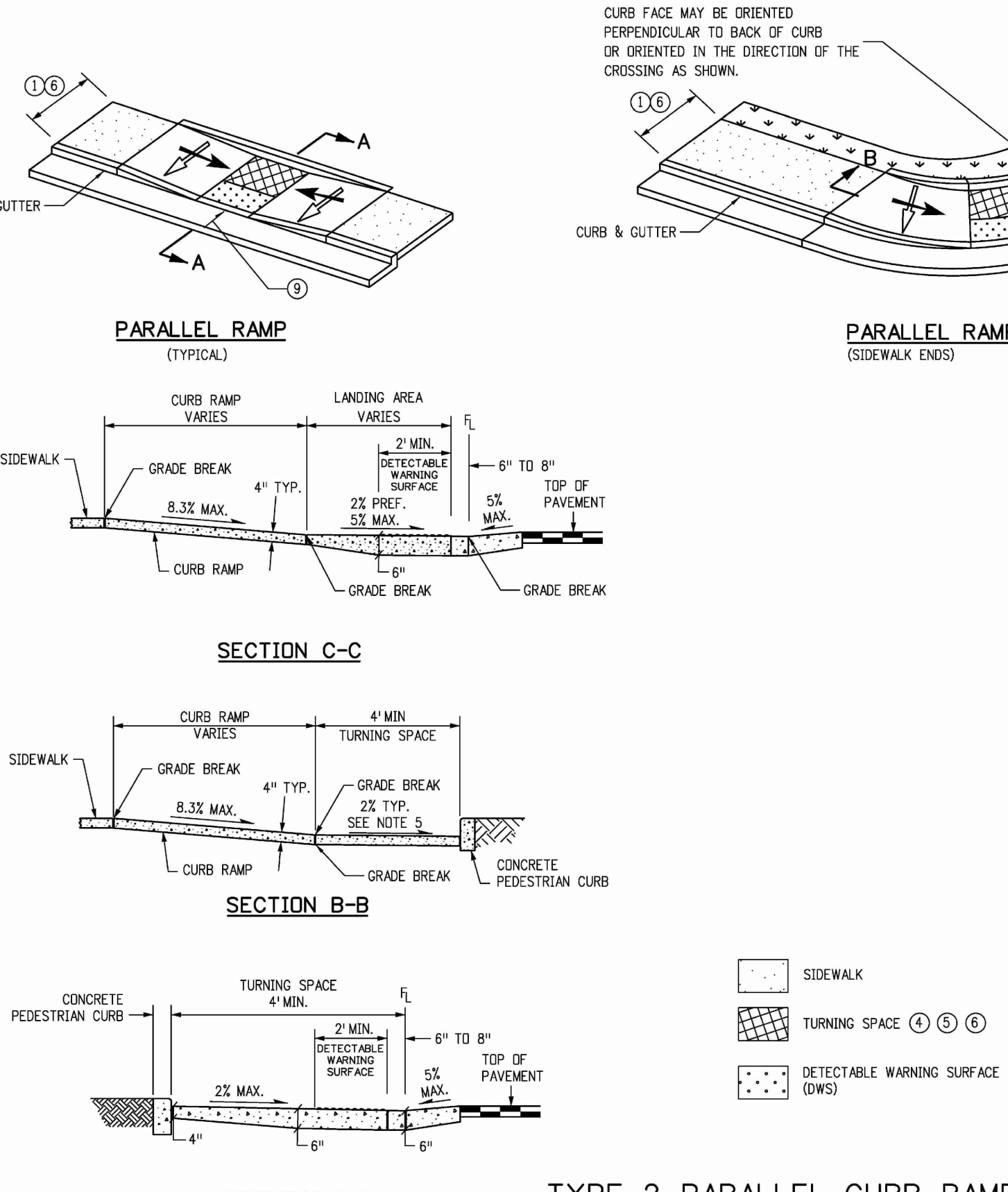
CITY OF CASTLE PINES

Issued: 8/15/2022

Revised: 10/14/2025
Standard Drawing No. SD 3b



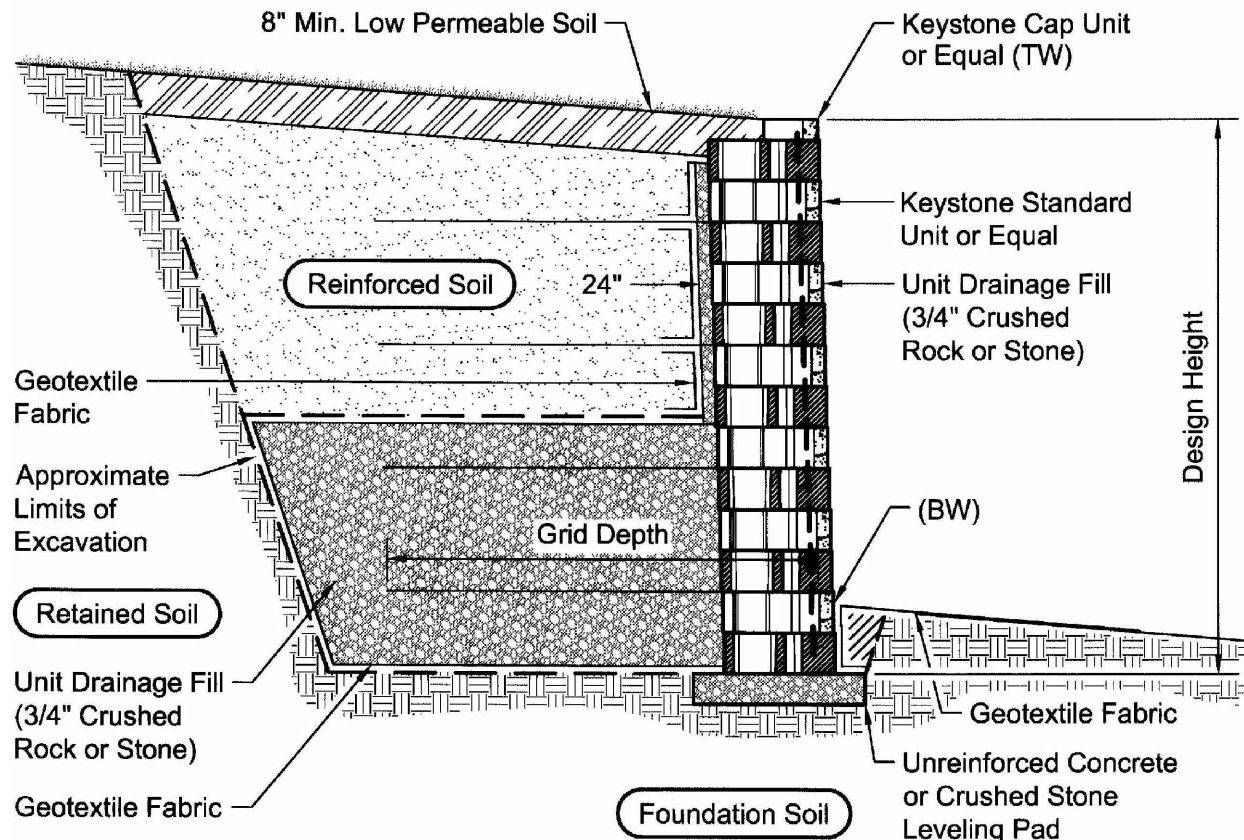
CAST-IN-PLACE RETAINING WALL
N.T.S.



TYPE 2 PARALLEL CURB RAMPS

PARALLEL RAMP NOTES

- RAMP WIDTH - PROVIDE A RAMP WIDTH EQUAL TO THE ADJOINING SIDEWALK, PROVIDE 4 FT. WIDTH MINIMUM. RAMPS SERVICING SHARED USE PATHS SHALL MATCH THE WIDTH OF THE PATH.
- RAMP RUNNING SLOPE - 8.3% MAX.
- RAMP CROSS SLOPE - 2.0% MAX.
- TURNING SPACE RUNNING SLOPE - 2.0% MAX. TURNING SPACE RUNNING SLOPE IS MEASURED PERPENDICULAR TO THE BACK OF CURB.
- TURNING SPACE CROSS SLOPE - 2.0% TYPICAL. AT CROSSINGS WITHOUT YIELD OR STOP CONTROL, OR WITH A SIGNAL WHERE VEHICLES CAN PROCEED THROUGH THE INTERSECTION WITHOUT SLOWING OR STOPPING, THE CROSS SLOPE OF THE TURNING SPACE MAY EQUAL THE HIGHWAY GRADE. AT MIDBLOCK PEDESTRIAN STREET CROSSINGS THE TURNING SPACE CROSS SLOPE MAY EQUAL THE HIGHWAY GRADE. TURNING SPACE CROSS SLOPE IS MEASURED IN THE DIRECTION OF THE RAMP RUN.
- TURNING SPACE DIMENSIONS - PROVIDE A TURNING SPACE AT THE BOTTOM OF PARALLEL RAMPS WITH A WIDTH EQUAL TO THE WIDTH OF THE CURB RAMP. PROVIDE 4 FT. MINIMUM, MEASURED IN THE DIRECTION OF THE RAMP RUN. IF THE TURNING SPACE IS CONSTRAINED ON TWO SIDES, PROVIDE 5 FT. MEASURED IN THE DIRECTION OF PEDESTRIAN STREET CROSSING. THE TURNING SPACE MAY CONTAIN THE DETECTABLE WARNING SURFACE.
- RAMP ALIGNMENT - RAMPS SHALL BE ALIGNED SO THE TURNING SPACE IS FULLY CONTAINED WITHIN THE CROSSWALK OR STREET CROSSING THEY SERVE. PROVIDE ONE RAMP FOR EACH STREET CROSSING DIRECTION. IN ALTERNATIONS, WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT PROVIDING ONE CURB RAMP FOR EACH CROSSING DIRECTION, A SINGLE DIAGONAL CURB RAMP (ON THE APEX OF A CORNER) SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS. DIAGONAL RAMPS ARE NOT ACCEPTABLE IN NEW CONSTRUCTION, OR FULL-DEPTH RECONSTRUCTION.
- RAMP LENGTH - PARALLEL RAMP LENGTH IS DEPENDENT UPON THE RAMP SLOPE AND THE CHANGE OF ELEVATION FROM THE TURNING SPACE TO THE SIDEWALK. WHERE TERRAIN IS SLOPING A RAMP IS NOT REQUIRED TO CHASE GRADE MORE THAN 15 FT. REGARDLESS OF THE RESULTING RAMP SLOPE.
- GUTTER COUNTER SLOPE - 5.0% MAX.

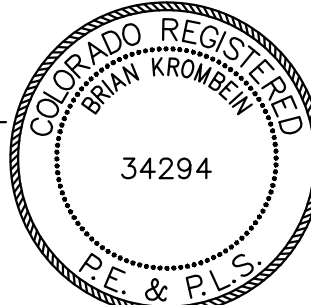


TYPICAL RETAINING WALL SECTION (PRIVATE)
N.T.S.

ENGINEER'S STATEMENT

PREPARED UNDER MY SUPERVISION

BRIAN KROMBEIN, PE, PLS
COLORADO PE NO. 34294
FOR AND ON BEHALF OF
VERMILION PEAK ENGINEERING LLC



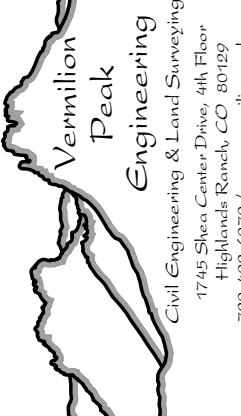
CITY DEVELOPMENT REVIEW ENGINEER

DATE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED AND ACCEPTED BY THE CITY OF CASTLE PINES FOR STREET AND DRAINAGE, GRADING, EROSION, AND SEDIMENT CONTROL, UTILITIES AND SIGNAGE AND STRIPING ONLY.



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Advance Auto Parts
LOT 5, LAGAE FAMILY TRUST MINOR DEVELOPMENT
CASTLE PINES, CO 90534
STORE #

REV	DATE	DESCRIPTION

DATE	GROSS SQ. FT.
6/15/26	6,912 S.F.

PROJECT #
DRAWN BY: BK
CHECK BY: BK

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PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION



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STANDARD DETAILS

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